




Lower Salford Township Board of Supervisors

379 MAIN STREET
HARLEYSVILLE, PA 19438

PHONE: 215-256-8087
FAX: 215-256-4869

MEMORANDUM

TO: *Board of Supervisors*

FROM: *Douglas R. Jones, Director of Public Works* 

DATE: *April 4, 2023*

SUBJECT: *Recommendation for Award – 2023 Pavement Markings Contract*

CC: *Joseph S. Czajkowski, Township Manager*

On Tuesday, April 4, 2023, bids were received and opened, via the PennBid online bidding platform, for the above referenced contract. Only one (1) bid was received with the results shown on the attached bid tabulation sheet. This contract is for the installation of longitudinal, transverse, and intersection pavement markings in both paint and thermoplastic materials. This contract is being issued on behalf of both Lower Salford and Franconia Townships.

As you can see, Alpha Space Control Co., Inc. of Chambersburg, PA is the apparent low bidder at a total price of \$113,787.50. The work covered under this contract is considered “maintenance” as defined by Pennsylvania Labor & Industry, and therefore not subject to prevailing wage labor rates. Alpha Space Control has maintained the pavement markings within the Township for some time now, just not on a formal contract basis. Previously, the dollar amount of this type of work was kept below the bidding threshold where only three (3) quotes were required. With material and labor costs increasing, a formal bid specification and contract were needed to keep pace with our annual pavement marking maintenance. I have also worked with Alpha Space Control in other municipalities and have found them to be nothing but professional and provide quality workmanship in all aspects of their work.

Given the above, it is my recommendation that the Board of Supervisors award the 2023 Pavement Markings Contract to the low bidder, Alpha Space Control Co., Inc. in the total contract amount of \$113,787.50.

Please advise should you have any questions regarding this matter.

LOWER SALFORD TOWNSHIP 2023 PAVEMENT MARKINGS CONTRACT

Extended Price Analysis

Reference Number	Description	Type	UOM	Quantity	Alpha Space Control Co., Inc.	Average
Bid Price Ratio					100%	
Total Extended					\$113,787.50	
Pricing Items					\$113,787.50	
					\$23,400.00	
P-1	Painted Markings - Double Yellow Centerline	Base	L.F.	120,000.00	Unit.: \$0.195	\$23,400.00
						\$9,500.00
P-2	Painted Markings - Solid White Edge Lines	Base	L.F.	100,000.00	Unit.: \$0.095	\$9,500.00
						\$2,500.00
P - 3	Painted Markings - Crosswalk Markings (6")	Base	L.F.	1,000.00	Unit.: \$2.50	\$2,500.00
						\$1,500.00
P - 4	Painted Markings - STOP Bar (24")	Base	L.F.	500	Unit.: \$3.00	\$1,500.00
						\$687.50
P - 5	Painted Markings - Police Speed Lines (8")	Base	L.F.	250	Unit.: \$2.75	\$687.50
						\$650.00
P - 6	Painted Markings - Arrows	Base	EA.	10	Unit.: \$65.00	\$650.00
						\$650.00
P - 7	Painted Markings - Combination Arrows	Base	EA.	5	Unit.: \$130.00	\$650.00
						\$650.00
P - 8	Painted Markings - STOP/ONLY Legends	Base	EA.	10	Unit.: \$65.00	\$650.00
						\$1,500.00
P - 9	Painted Markings - Gore Areas (24")	Base	L.F.	500	Unit.: \$3.00	\$1,500.00
						\$500.00
P - 10	Painted Markings - Eradication	Base	S.F.	250	Unit.: \$2.00	\$500.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$27,500.00
T - 1	Thickness - Double Yellow Centerline	Base	L.F.	25,000.00	Unit.: \$1.10	\$27,500.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$8,250.00
T - 2	Thickness - Solid White Edge Lines	Base	L.F.	15,000.00	Unit.: \$0.55	\$8,250.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$4,500.00
T - 3	Thickness - Crosswalk Markings (6")	Base	L.F.	1,500.00	Unit.: \$3.00	\$4,500.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$5,000.00
T - 4	Thickness - STOP Bar (24")	Base	L.F.	500	Unit.: \$10.00	\$5,000.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$500.00
T - 5	Thickness - Police Speed Lines (8")	Base	L.F.	100	Unit.: \$5.00	\$500.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$9,000.00
T - 6	Thickness - Arrows	Base	EA.	40	Unit.: \$225.00	\$9,000.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$4,000.00
T - 7	Thickness - Combination Arrows	Base	EA.	10	Unit.: \$400.00	\$4,000.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$8,000.00
T - 8	Thickness - STOP/ONLY Legends	Base	EA.	40	Unit.: \$200.00	\$8,000.00
	Thermoplastic Markings, Hot Applied @ 90 MIL					\$5,000.00
T - 9	Thickness - Gore Areas (24")	Base	L.F.	500	Unit.: \$10.00	\$5,000.00
						\$500.00
T - 10	Thermoplastic Markings - Eradication	Base	S.F.	250	Unit.: \$2.00	\$500.00

ORDINANCE NO. _____
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

**AN ORDINANCE TO ADOPT THE 2018 ICC INTERNATIONAL FIRE CODE AND
ESTABLISH AN ANNUAL FIRE INSPECTION PROGRAM FOR SPECIFIC USES
WITHIN LOWER SALFORD TOWNSHIP**

WHEREAS, the Second-Class Township Code authorizes the Board of Supervisors to make and adopt Ordinances that are consistent with the Constitution and the laws of the Commonwealth that it deems necessary for the protection of the Township to protect and promote the public health, safety and welfare of its citizens, business owners and visitors;

WHEREAS, to accomplish such goals, the Board of Supervisors, after due consideration of the proposed Ordinance at a duly advertised public meeting, has determined that the health, safety, and general welfare of the citizens of the Township will be served by the adoption the 2018 International Fire Code and provide for the establishment of an Annual Fire Inspection Program within the Township;

NOW THEREFORE, BE IT RESOLVED that the Board of Supervisors of Lower Salford Township hereby establish the following;

Section 1 Adoption of the 2018 ICC International Fire Code

A certain document, on file in the Lower Salford Township building, being marked and designated as the "International Fire Code, 2018 edition," including appendix chapters being adopted - A, B, C, D, F, H, I, and J, and subsequent versions in line with the Code Series adopted by the Commonwealth of Pennsylvania under the Uniform Construction Code, as published by the International Code Council, be and is hereby adopted as the Fire Code of Lower Salford Township in the State of Pennsylvania, regulating and governing the safeguarding of life and property from fire and explosion hazards arising from the storage, handling and use of hazardous substances, materials and devices, and from conditions hazardous to life or property in the occupancy of buildings and premises.

This document is being adopted with the following amendments:

Section 101.1 Insert "Lower Salford Township".

Section 110.4 Insert "Statutory Offense" and "\$1,000.00".

Section 112.4 Insert "Not less than \$500.00 and not more than \$1,000.00".

Section 1103.5.3 Insert "Within 90 days or date determined by the AHJ".

Section 5704.2.9.6.1, Section 5706.2.4.4 and Section 5806 .2 Insert "No highly flammable or explosive liquids, solids or gases shall be stored in bulk aboveground, except tanks or drums of fuel directly connecting with energy devices, heating devices or appliances located and operated on the same lot as the tanks or drums of fuel, and/or liquefied petroleum gases for retail sale or delivery.

All outdoor storage facilities for fuel, raw materials and products, and all fuel, raw materials and products stored outdoors shall be enclosed by a safety fence approved by the township engineer. Fuel storage tanks shall be enclosed by an earthen moat or embankment of sufficient height to contain a liquid volume in excess of the capacity of the enclosed storage tanks.”.

Section 6104.2 Eliminate the words “jurisdiction to specify”.

Section 2 Establishment of an Annual Inspection Program

Pursuant to the 2018 International Fire Code §107 Inspections, all of the following Uses, as identified within the 2018 International Building Code, Chapter 3 – Occupancy Classification and Use, within Lower Salford Township shall be inspected by the Fire Code Official or other appointed individual on an Annual basis.

Uses identified are as follows:

Assembly: A-1, A-2, A-3, A-4, A-5

Business: All Business Uses

Educational: All Educational Uses

Factory: All factory Uses

High Hazard: H-1, H-2, H-3, H-4, H-5

Institutional: I-1, I-2, I-3, I-4

Mercantile: All Mercantile Uses

Residential: R-1, R-2, R-3 (except one and two family dwellings), R-4

Storage: S-1, S-2

Utility: All Utility Uses (except when associated with one and two family dwellings)

Section 3 Fees

Fees for the Annual Inspection program shall be established from time to time by the Board of Supervisors for Lower Salford Township.

Section 4 Inconsistent Ordinances Repealed

Ordinances of Lower Salford Township, Montgomery County, Pennsylvania, and/or Resolutions or parts thereof which are inconsistent with this Ordinance are hereby repealed to the extent of such inconsistency.

Section 5 Saving Clause

That nothing in this Ordinance hereby adopted shall be construed to affect any suit or proceeding impending in any court, or any rights acquired, or liability incurred, or any cause or causes of action acquired or existing, under any act or Ordinance hereby repealed as cited in Section 4 of this Ordinance; nor shall any just or legal right of remedy of any character be lost, impaired or affected by this Ordinance.

Section 6 Severability

If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal, or invalid; such infirmity shall not affect nor impair the remaining provisions, sentences, clauses or parts of this Ordinance. It is hereby declared as the intent of the Board of Supervisors of Lower Salford Township that this Ordinance would have been adopted

had such unconstitutional, illegal, or invalid sentence, clause, section, or part thereof not been included therein.

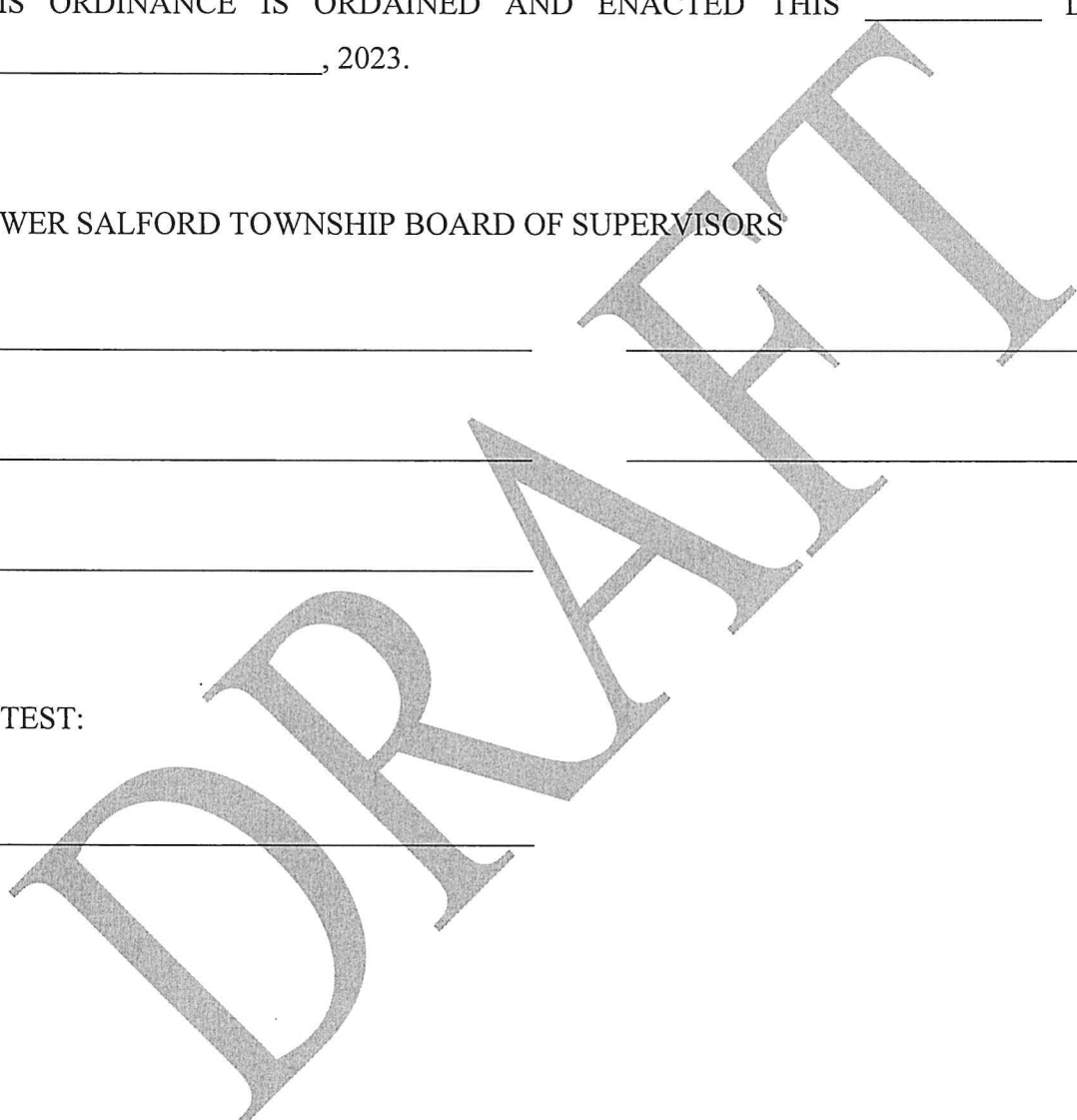
Section 7 Effective Date.

This Ordinance shall become effective thirty (30) days after it is enacted by the Board of Supervisors of Lower Salford Township.

THIS ORDINANCE IS ORDAINED AND ENACTED THIS _____ DAY OF _____, 2023.

LOWER SALFORD TOWNSHIP BOARD OF SUPERVISORS

ATTEST:



RESOLUTION NO. _____
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

A RESOLUTION OF THE BOARD OF SUPERVISORS
ESTABLISHING FEES FOR THE FIRE INSPECTION PROGRAM

WHEREAS, the Supervisors of Lower Salford Township are authorized by the Second Class Township Code and by the Pennsylvania Municipalities Planning Code to prescribe reasonable fees with respect to the administration of the Township's Building Code, Zoning Ordinance, and Subdivision and land Development Ordinance; and

WHEREAS, the Supervisors of Lower Salford Township wish to revise and incorporate Fees for the Fire Inspection Program

NOW THEREFORE, BE IT RESOLVED that the Supervisors of Lower Salford Township hereby establish the following Fees payable to Lower Salford Township;

Annual Fire Inspection Program

Fes for the Fire Inspection Program shall be collected Annually per the following:
(All square footages are based on Gross Square Footage of building or space>)

1. If Fees are received prior to April 1 each calendar year.
 - a. 999 sf or less \$75.00
 - b. 1,000 sf to 3,499 sf \$100.00
 - c. 3,500 sf to 12,499 sf \$150.00
 - d. 12,500 sf to 24,499 sf \$200.00
 - e. 24,500 sf to 49,999 sf \$300.00
 - f. 50,000 sf to 99,999 sf \$500.00
 - g. 100,000 sf and more \$1,000.00
 - h. Any High Hazard Use \$1,250.00

2. If Fees are received prior to July 1 each calendar year.
 - a. 999 sf or less \$100.00
 - b. 1,000 sf to 3,499 sf \$150.00
 - c. 3,500 sf to 12,499 sf \$200.00
 - d. 12,500 sf to 24,499 sf \$250.00
 - e. 24,500 sf to 49,999 sf \$350.00
 - f. 50,000 sf to 99,999 sf \$600.00
 - g. 100,000 sf and more \$1,200.00
 - h. Any High Hazard Use \$1,500.00

3. If Fees are received after July 1 each calendar year.
 - a. 999 sf or less \$150.00
 - b. 1,000 sf to 3,499 sf \$200.00
 - c. 3,500 sf to 12,499 sf \$250.00

- | | |
|---------------------------|------------|
| d. 12,500 sf to 24,499 sf | \$300.00 |
| e. 24,500 sf to 49,999 sf | \$400.00 |
| f. 50,000 sf to 99,999 sf | \$650.00 |
| g. 100,000 sf and more | \$1,400.00 |
| h. Any High Hazard Use | \$2,000.00 |

BE IT FURTHER RESOLVED THAT, all other Fees established by Resolution and/or Ordinance of Lower Salford Township not in conflict with this Resolution shall remain in effect as previously adopted.

This Resolution shall take effect at the earliest time permitted by law.

RESOLVED this _____ day of _____ 2023.

DRAFT

**LOWER SALFORD TOWNSHIP
BOARD OF SUPERVISORS**

MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

RESOLUTION 2023-12

RESOLVED, that the month of April 2023 recognized as “Pennsylvania Safe Digging Month”, and the initiative sponsored by Pennsylvania 811, a utility notification information center with over 50 years of continuous service to the Commonwealth of Pennsylvania, and

WHEREAS, Pennsylvania 811 received over 1 million excavation notifications in 2022, and transmitted approximately 6.8 million notifications to their member facility owners and operators allowing essential utility and construction crews to provide vital underground services and repair of critical infrastructure to communities throughout Pennsylvania, and

WHEREAS, their mission is to prevent damage to underground facilities, to promote safety, provide an efficient and effective communications network among project owners, designers, excavators, and facility owners, and

WHEREAS, when contacting 811, at least three business days before digging, a homeowner or a contractor is connected to a unique service that notifies the appropriate underground utility operators in the municipality in which the work will be performed, and

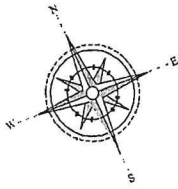
WHEREAS, by notifying 811 of their intent to dig, the homeowner or contractor is knowingly helping to protect the underground utilities, themselves, work crew, and their neighbors from any unsafe digging practices within their community, and

NOW, THEREFORE, BE IT RESOLVED that **LOWER SALFORD TOWNSHIP**, in support of the Pennsylvania Underground Utility Line Protection Law, PA Act 287 of 1974, as amended, we do hereby proclaim April 2023 as “Pennsylvania Safe Digging Month”, and encourage all Pennsylvanians to visit the Pennsylvania 811 website at www.pa1call.org for information about digging safely.

**BOARD OF SUPERVISORS
LOWER SALFORD TOWNSHIP**

By: _____
Keith Bergman, Chairman,
Board of Supervisors

Attest: _____
Joseph S. Czajkowski, Secretary



LENAPE VALLEY ENGINEERING

Civil Engineering • Subdivision • Land Development

March 29, 2023

Lower Salford Township
379 Main Street
Harleysville, PA 19438-2391

SUBJ: James and Susan Wiley Tract – 209 Maple Avenue (Extension Request)

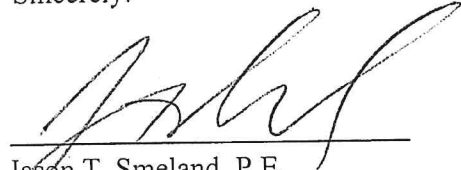
ATTN: Mr. Michael L. Beuke, Director of Building and Zoning

Dear Mike:

As you know the Wiley's went through the approval process associated with a three lot subdivision of their property located at 209 Maple Avenue. The subdivision was completed with the idea that as the Wiley retire and downsize, they would have the ability to sell one or both of the new lots as needed and eventually sell their existing home. The Township has previously accommodated the Wiley's by granting extensions of the plan approval. At this point, the Wiley's would like to remain in their existing house as long as possible, but they do not want to lose the time and effort that they have invested into the subdivision, or the value that has been created by the approved subdivision plan. Consequently, the Wiley's would like to request another five year extension of the subdivision approval with the condition that the recently approved Maple Avenue driveway pipe improvements be installed within the next six months. It is requested that the recording of the plan and the posting of financial security associated with the subdivision be deferred until March 2028.

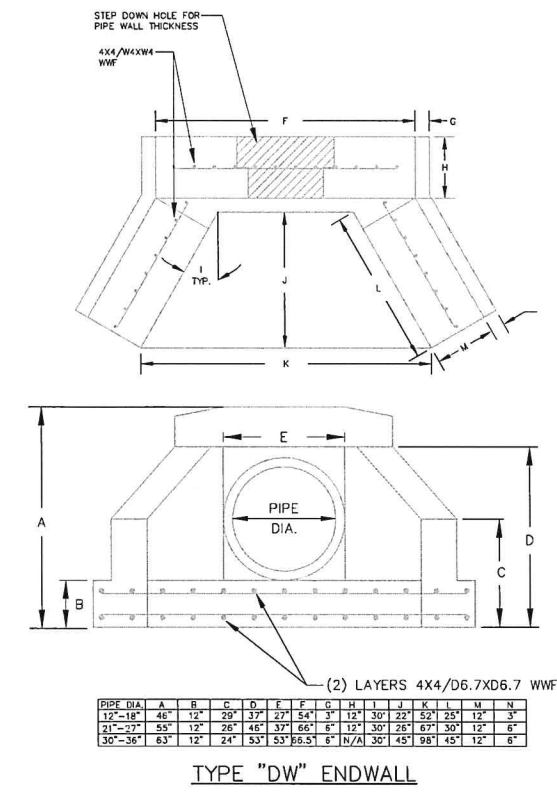
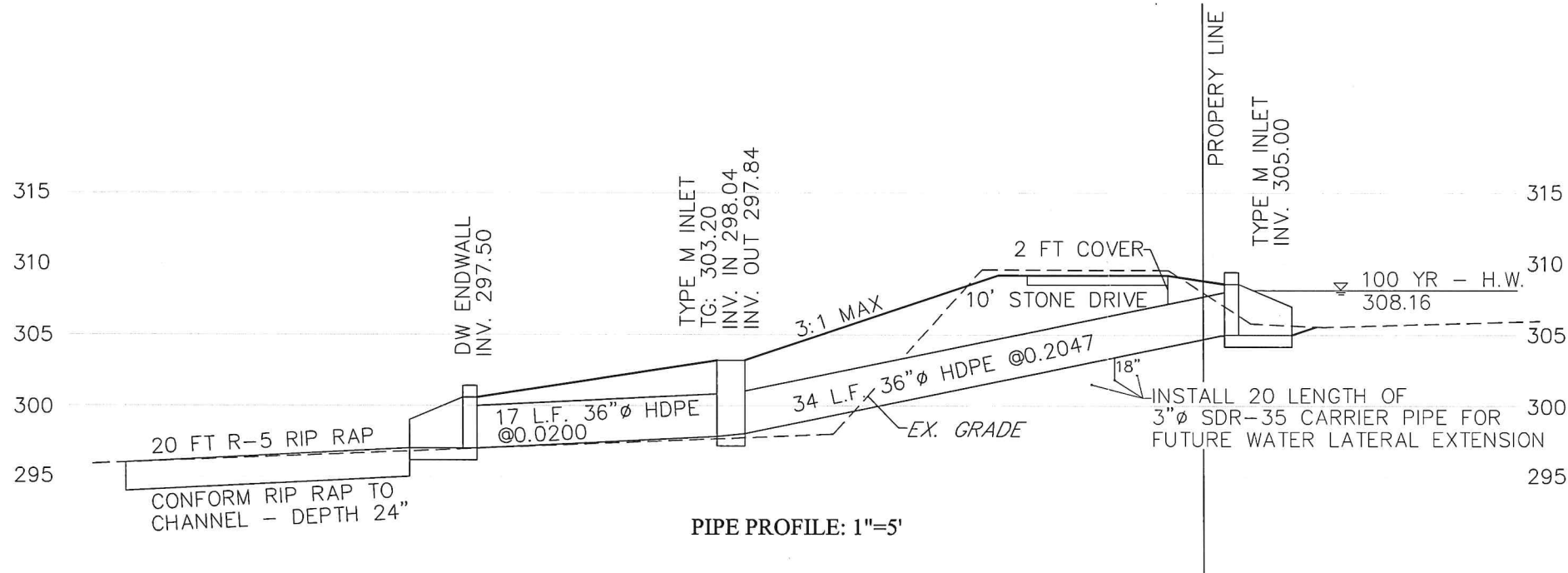
Thank you for your consideration if this request. Please feel free to contact me if you have any questions or require additional information.

Sincerely:



Jason T. Smeland, P.E.
Lenape Valley Engineering

CC: James and Susan Wiley



PROPOSED SUBGRADE
PROPOSED ROADWAY OR TOPSOIL

FULL 24" STONE BACKFILL MECHANICALLY TAMPED IN 6" LIFTS TO A MINIMUM OF 10% OF MASS. PRECISION LOCUS (ALTA) IS-1000 IS APPROVED BY THE ENGINEER OR REPRESENTATIVE IN FIELD. SELECT BACKFILL MAY BE USED.

NOTE: TRENCHES WITH EXISTING SIDEWALKS SHALL BE BACKFILLED WITH FULL DEPTH 24" STONE.

SECOND STONE IS CLEAN (WASHED) TO MATCH OF PIPE (TRENCH FRONT) TO STONE TO ONE FOOT OVER TOP OF PIPE. REFER TO NOTE ABOVE FOR TRENCH BACKFILL.

SECOND STONE FOR WATERLINE IS MAN AND SERVICE. SUBSTITUTE 24" STONE IN PLACE OF CLEAN STONE.

FOR PIPES WITH DIAMETERS GREATER THAN 48" OUTSIDE SHALL BE INCREASED TO 12"

4" MIN. COVER FOR SEWERS, WATER MAIN AND WATER SERVICES.

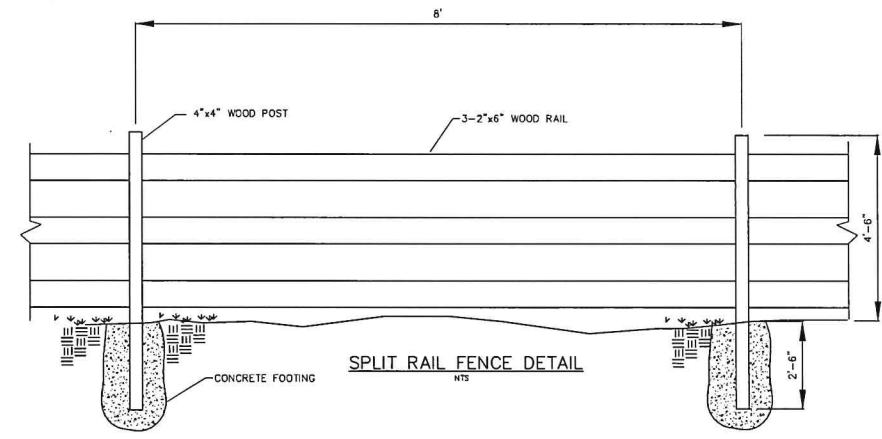
24" MIN. COVER FOR STORM SEWER.

NOTE:
ALL GAS, ELECTRIC & TELECOMMUNICATION LINES AND WATER SERVICE TRENCHES WITH EXISTING ROADWAYS, PROPOSED ROADWAYS, ALL RIGHT OF WAY, BUREAU BASEMENTS, PROPOSED DRIVEWAYS, APPROVE AND BECAUSE TO SUIT. WITHOUT EXCEPTION, BE BACKFILLED WITH FULL DEPTH 24" STONE AFTER TOP SCREENING.
ALL UTILITY TRENCHES MUST BE COMPACTED (MECHANICALLY TAMPED) IN LIFTS.

LOWER SALFORD TOWNSHIP STANDARD DETAIL
TYPICAL TRENCH DETAIL

DATE: 8-2013 NOT TO SCALE DRS22

Metz Engineers



STORMWATER DETAIL SHEET Prepared for JAMES W. & SUSAN DEANER WILEY As part of 209 MAPLE AVE DRIVEWAY PIPE REPLACEMENT		
LOWER SALFORD TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA		
JASON T. SMELAND PROFESSIONAL ENGINEER PA NO. 059306		
GRAPHIC SCALE		
PROJECT MANAGER J.T.S.	DRAWING SCALE NTS	SHEET NUMBER 2 of 4
DRAFTED BY B.C.S.		PROJECT NUMBER 2432

LENAPE VALLEY ENGINEERING
 Civil Engineering • Subdivision • Land Development
 P.O. Box 74, Chalfont, Pennsylvania 18914
 Tel (215) 622-1414 Fax (267) 308-0324
 Lenapeconsultants@yahoo.com

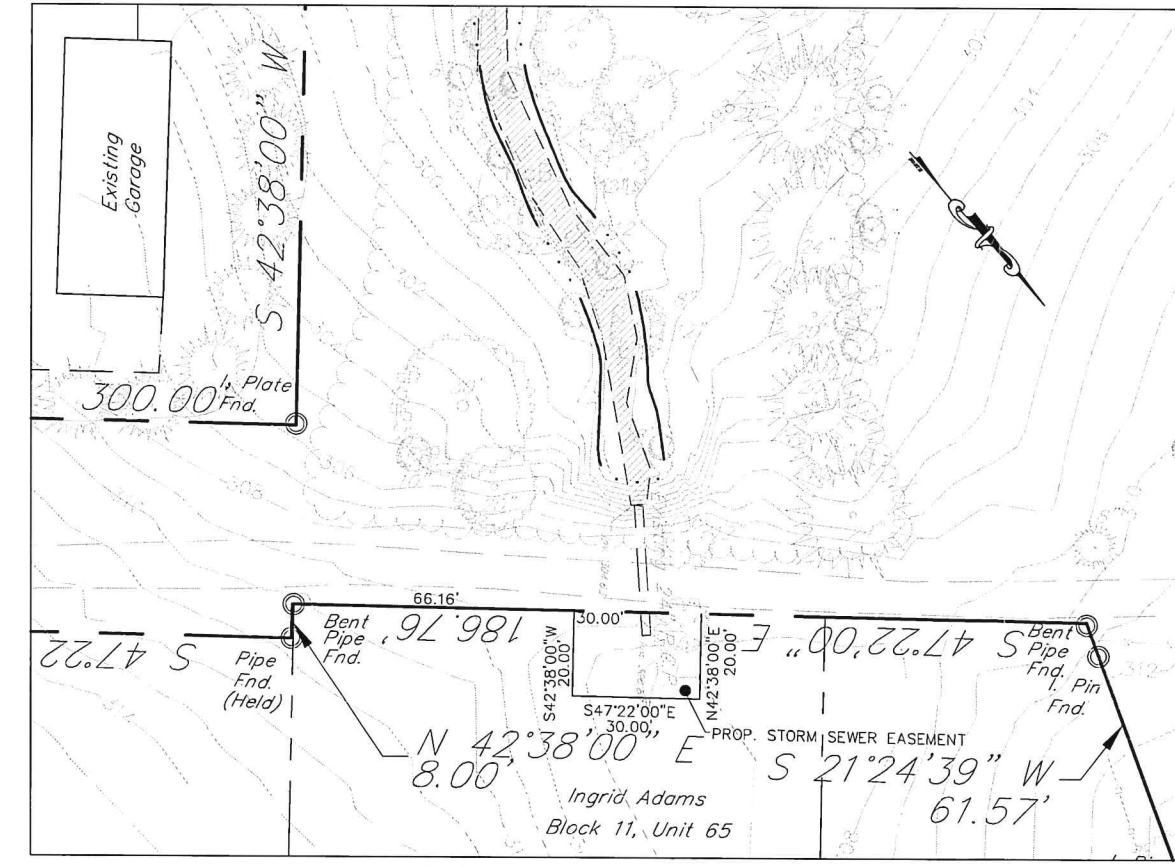
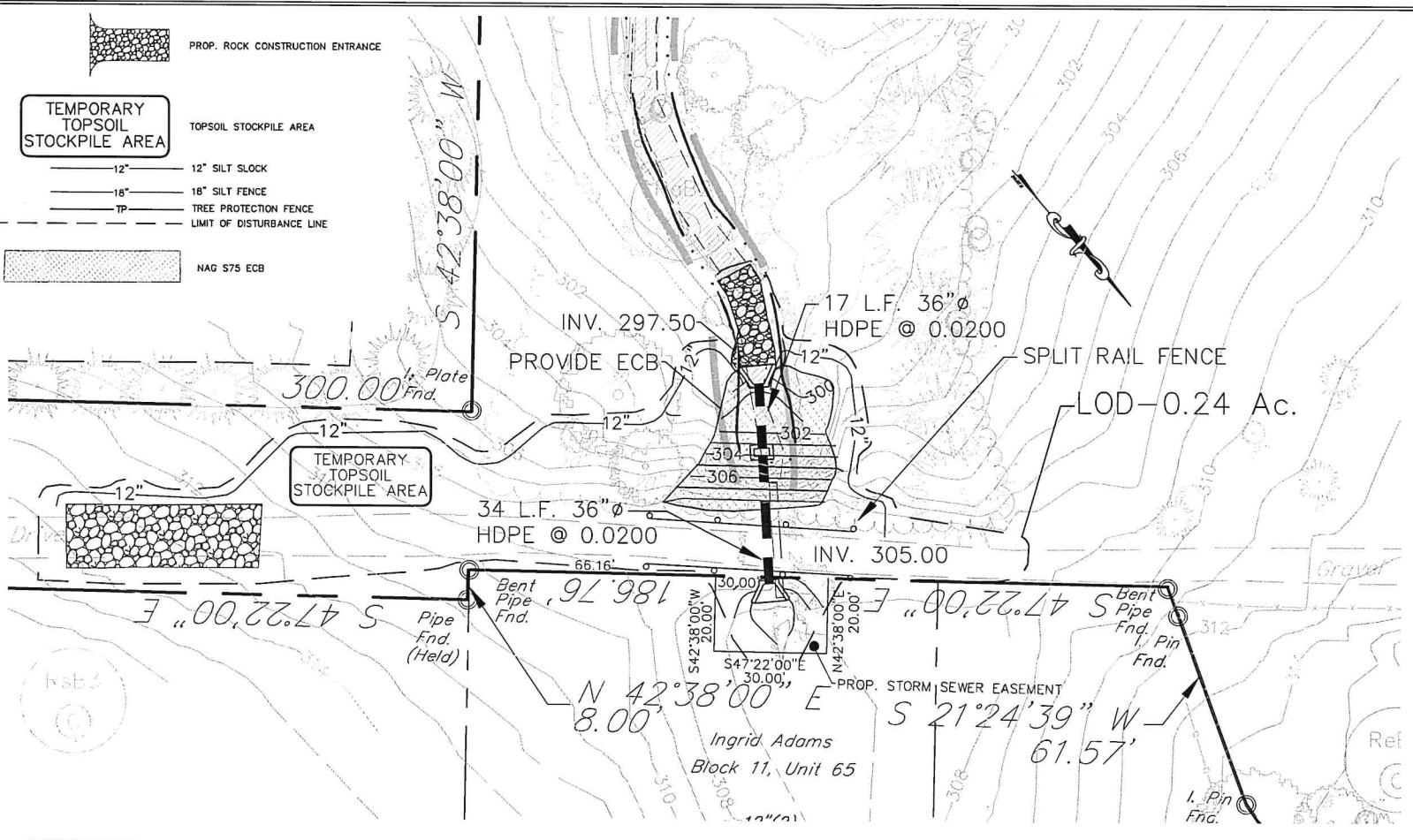
EROSION CONTROL NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN. A COPY OF THE APPROVED EAS PLAN SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES. THE REVENING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVENING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL WRITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EAS PLAN PREPARER, THE EAS PLAN PREPARED BY THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE EAS PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-485-1778 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTACLES.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNLESS THE EAS BARS SPECIFIED BY THE BMP SEQUENCES FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED BY THE BARRIERS SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 30 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON COMPLETION OF GRUBBING OPERATIONS, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 (ET. SEC. 271.1, AND 271.2) AND 25 PA. CODE 2602 (ET. SEC. 271.1, AND 271.2). UNLAWFUL BUILDING MATERIALS SHALL BE IMPROPERLY BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT. THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY MATERIALS REQUIRED FOR THE CLEAN FILL. (FORM #100) MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN OVER UNPUNCTURED VEGETATED AREAS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BARRIERS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BARRIERS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, RECONSTRUCTION AND REPAIRING MUST BE PERFORMED IMMEDIATELY. IF THE EAS BARS FAIL TO PERFORM AS EXPECTED, REPLACEMENT OR MODIFICATIONS OF THOSE INSTALLED MUST BE REQUIRED.
15. A LOG SHOWING DATES THAT EAS BARS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SPILLED OR RUN INTO ANY ROADWAY, DITCH, STORM SEWER, OR SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BARS SHALL BE DEPOSITED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. TOPSOIL SHALL BE PLACED IN A MANNER WHICH WILL PROTECT THE SOIL FROM EROSION AND WIND. MULCHING, FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT SETTLEMENT. SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS: FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONCRETE, ETC. SHALL BE COMPACTED TO A MINIMUM OF 98 PERCENT SETTLEMENT OR GROSS. 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBSTACLES. MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SUBMITTALS FOR CONSTRUCTION OF EROSION CONTROL MEASURES.
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE OR SLOPES IN VEGETATED AREAS AND ALL FILLS SHALL NOT BE VEGETATED. SEEDS AREAS WITHIN 30 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE STABILIZED WITHIN 30 DAYS OF COMPLETION OF GRUBBING OPERATIONS.
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL MAINTAIN VEGETATION OR OTHER PERMANENT NON-VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. EAS BARS SHALL BE FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
30. FAILURE TO CORRECTLY INSTALL EAS BARS, FAILURE TO PREVENT SEDIMENT-LOADED RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF EAS BARS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS SET FORTH IN SECTION 802 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$50,000 IN Misdemeanor CRIMINAL PENALTIES FOR EACH VIOLATION.

EARTHWORK STAGING

- IN ORDER TO KEEP EROSION AND SEDIMENT POLLUTION DURING CONSTRUCTION TO AN ABSOLUTE MINIMUM, THE FOLLOWING PROCEDURES AND STAGES SHALL:
1. MARK/STAKE OUT LOD IN THE FIELD. INSTALL CONSTRUCTION ENTRANCE IN ACCORDANCE WITH ENTRANCE DETAIL. CONSTRUCTION ENTRANCE MAY BE OMITTED IF THE CONTRACTOR IMPLEMENTS MEASURES TO REMOVE SOIL FROM EQUIPMENT.
 2. PLACE SILT SOCK ON PERIMETER DOWNSLOPE AREAS WHERE INDICATED ON THE PLAN.
 3. REMOVE TREES AND CLEAR VEGETATION WITHIN DISTURBANCE AREA.
 4. REMOVE EXISTING PIPE AND INSTALL NEW INLET, PIPE, AND RIP RAP APRON. THE RIP RAP APRON SHALL CONFORM TO THE STREAM CHANNEL, AND SHALL EXTEND 20 FEET DOWN STREAM. THE DRAINAGE FEATURE IS GENERALLY DRY EXCEPT DURING RUNOFF EVENTS. THE PIPE REPLACEMENT WORK MUST BE COMPLETED DURING A TIME WHEN THERE IS NO FLOW IN THE DRAINAGE FEATURE AND NO FORCASTED PRECIPITATION.
 5. INSTALL FILL TO CREATE A 3 TO 1 SLOPE ALONG DRIVEWAY. ALL DISTURBED AREA WITH A 3 TO 1 SLOPE SHALL BE COVERED IN EROSION CONTROL BLANKET (NAG 575 OR EQUAL) AS DEPICTED ON THE PLAN.
 6. INSTALL SPLIT RAIL FENCE AND RESTORE / RE-STONE DRIVEWAY AS NEEDED.
 7. FINISH GRADE AND SEED ALL AREAS WITH PERMANENT SEED MIXTURE.
 8. REMOVE TEMPORARY EROSION CONTROL MEASURES AND STRUCTURES AFTER THE SITE HAS BEEN STABILIZED WITH 70% UNIFORM PERENNIAL VEGETATIVE GROWTH. AREAS DISTURBED DURING REMOVAL OF CONTROLS MUST BE STABILIZED. SEDIMENT TRAP MUST REMAIN IN PLACE AND FUNCTIONAL UNTIL STABILIZATION OF AREAS TRIBUTARY TO THESE CONTROLS.

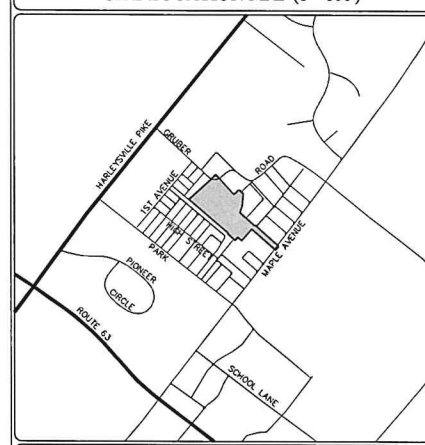
NOTE: IF THE DRIVEWAY TO THE EXISTING HOUSE CANNOT BE RESTORED TO ALLOW VEHICLE TRAFFIC IN A SINGLE DAY, THE CONTRACTOR MUST INSTALL STEEL PLATES OVER THE DRIVEWAY PIPE TRENCH AREA TO ALLOW ACCESS TO THE DWELLING.



EXISTING FEATURES EXHIBIT

---	EXIST. STREAM
---	EXIST. FLOODPLAIN
---	EXIST. R/W
---	SOILS LINE
---	EXIST. CONTOUR
---	EXIST. CONTOUR
---	EXIST. EDGE ROAD
---	EXIST. EASEMENT
---	EXIST. PROP. BOUNDARY
---	EXIST. DRIVES
---	EXIST. CENTERLINE
---	EXIST. STORM SEWER LINE
○	EXIST. CONC. MONUMENT
○	EXIST. IRON PIN
○	EXIST. UTILITY POLE
○	EXIST. WELL
---	PROP. CONTOUR
---	PROP. STORMSEWER PIPE

SITE LOCATION MAP (1"=800')



TAX PARCEL INFORMATION

SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX INFORMATION AS FOLLOWS:

LOWER SALFORD TOWNSHIP
 RECORDED DEED DATA IS AS FOLLOWS:
 AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA

PARCEL NO.	BLOCK/JUNT	DEED BOOK/PAGE	RECORD OWNER	TRACT AREA
50-00-02253-009	11/57	6118/02974	JAMES W. & SUSAN DEANER WILEY	4.69 AC.

SOILS INFORMATION

SOILS DATA OBTAINED FROM A SOIL SURVEY OF MONTGOMERY COUNTY, PENNSYLVANIA, ISSUED JUNE, 1987 & ON-SITE INVESTIGATION

PuB2 - PENN. SALY SILT LOAM, 3 TO 8 PERCENT
 RuB3 - REAVILLE SHALY SILT LOAM, 3 TO 8 PERCENT
 RuB2 - REAVILLE SHALY SILT LOAM, 0 TO 3 PERCENT

GENERAL NOTES

1. TITLE LINE INFORMATION TAKEN FROM DEEDS AND PLANS OF RECORD AND A SURVEY BY RICHARD C. MAST ASSOCIATES, P.C., COMPLETED IN JULY 2002. TOPOGRAPHICAL DATA WAS OBTAINED BY GROUND SURVEY PERFORMED BY RICHARD C. MAST ASSOCIATES, P.C. IN JULY 2002. BENCHMARK: SANITARY MANHOLE 100. ELEVATION 310.70 (LOCATED IN MAPLE AVENUE).
 2. ZONING DATA OBTAINED FROM THE LOWER SALFORD TOWNSHIP ZONING ORDINANCE, AS LAST AMENDED, REFERENCE ARTICLE IX, SECTION 164-37 - 164-39. DISTRICT CLASSIFICATION: "R-2" - RESIDENCE DISTRICT
- | REQUIREMENT | ALLOWED/REQUIRED | ACTUAL/PROPOSED |
|------------------------------------|------------------|-----------------|
| MINIMUM LOT AREA: | 32,500 S.F. | >32,500 S.F. |
| MINIMUM LOT WIDTH @ BUILDING LINE: | 125 FT. | 125+ FT. |
| FRONT YARD SETBACK: | 60 FT. | 60 FT. |
| SIDE YARD RESTRICTION: | 30 FT. | 30 FT. |
| REAR YARD RESTRICTION: | 30 FT. | 30 FT. |
| MAXIMUM BUILDING HEIGHT: | < 35 FT. | < 35 FT. |
3. NET LOT AREA = 4.46 acres (EXCLUDING ULT. R/W OF MAPLE AND GRUBER)

APPLICANT INFORMATION

JAMES W. & SUSAN DEANER WILEY
 209 MAPLE AVE.
 MAPLESVILLE, PA 19438

GRADING & EAS PLAN

Prepared by
JAMES W. & SUSAN DEANER WILEY
 As per of
209 MAPLE AVE
DRIVEWAY PIPE REPLACEMENT

LOWER SALFORD TOWNSHIP

MONTGOMERY COUNTY
 PENNSYLVANIA

JASON T. SMELAND

PROFESSIONAL ENGINEER
 PA NO. 059306

GRAPHIC SCALE

PROJECT MANAGER	DRAWING SCALE	SHEET NUMBER
J.T.S.	1"=20'	1 of 4
DRAFTED BY	PROJECT NUMBER	
B.C.S.	2432	

LENAPE VALLEY ENGINEERING

Civil Engineering • Subdivision • Land Development

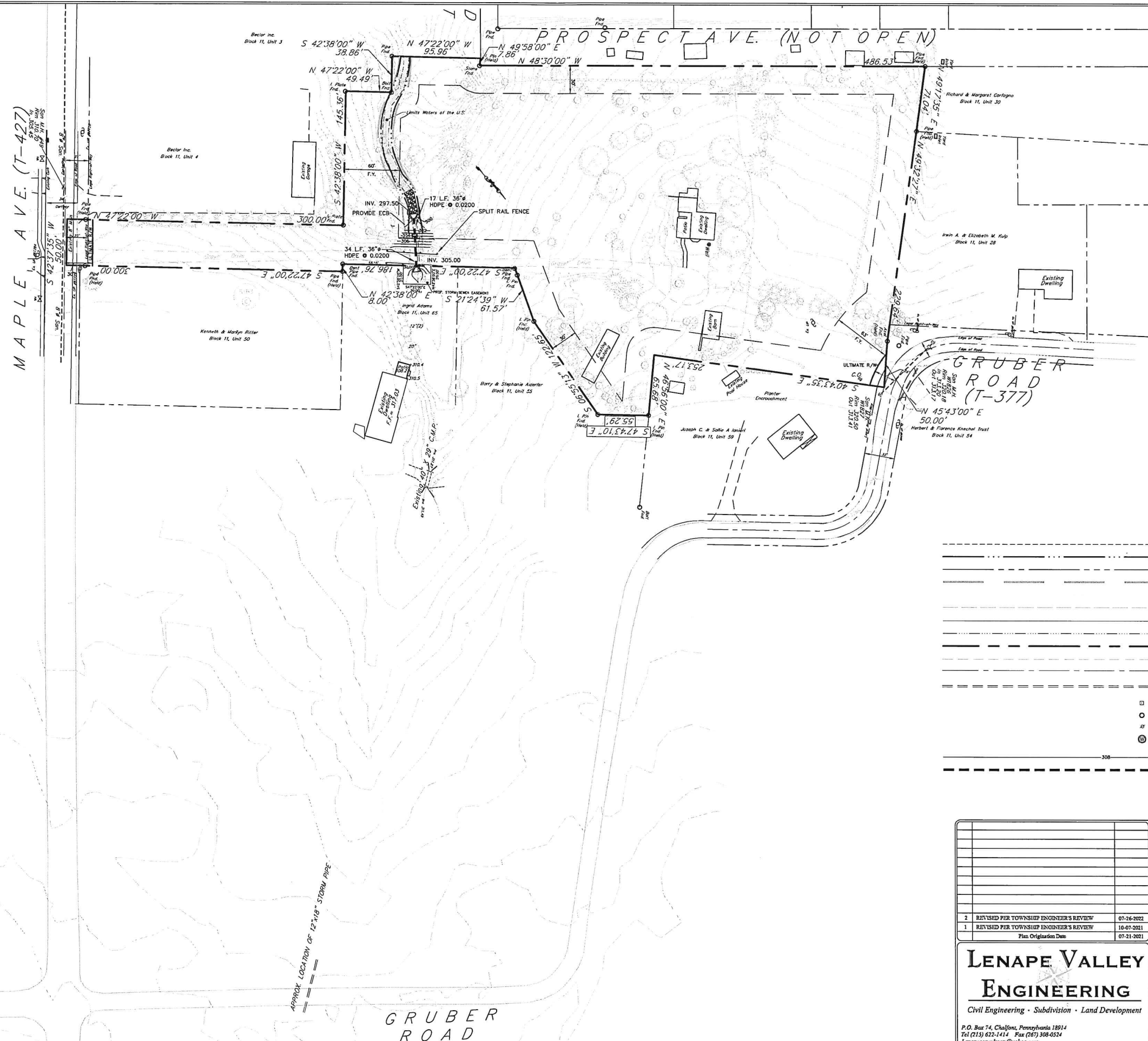
P.O. Box 74, Chalfont, Pennsylvania 18914
 Tel (215) 622-1414 Fax (267) 308-0524
 Lenapeconsultants@yahoo.com

MAPLE AVE. (T-427)

ST AVE.

PROSPECT AVE. (NOT OPEN)

GRUBER ROAD (T-377)

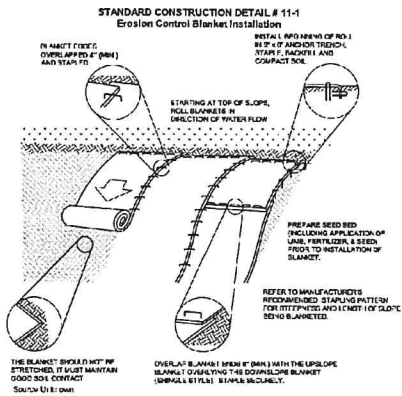


- EXIST. STREAM
- EXIST. FLOODPLAIN
- EXIST. R/W
- SOILS LINE
- EXIST. CONTOUR
- EXIST. CONTOUR
- EXIST. EDGE ROAD
- EXIST. EASEMENT
- EXIST. PROP. BOUNDARY
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- EXIST. CONC. MONUMENT
- EXIST. IRON PIN
- ⋈ EXIST. UTILITY POLE
- ⊕ EXIST. WELL
- PROP. CONTOUR
- PROP. STORMSEWER PIPE

APPROX LOCATION OF 12" X 18" STORM PIPE

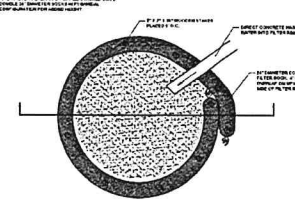
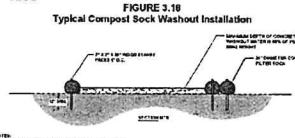
GRUBER ROAD

<p>OVERALL PROPERTY PLAN</p> <p>Prepared by</p> <p>JAMES W. & SUSAN DEANER WILEY</p> <p>As part of</p> <p>209 MAPLE AVE DRIVEWAY PIPE REPLACEMENT</p>	
<p>LOWER SALFORD TOWNSHIP</p> <p>MONTGOMERY COUNTY</p> <p>PENNSYLVANIA</p>	
<p>JASON T. SMELAND</p> <p>PROFESSIONAL ENGINEER</p> <p>PA NO. 059306</p>	
<p>GRAPHIC SCALE</p> <p>0 25 50 100 150</p>	
<p>2 REVISED PER TOWNSHIP ENGINEER'S REVIEW 07-26-2022</p> <p>1 REVISED PER TOWNSHIP ENGINEER'S REVIEW 10-07-2021</p> <p>Plan Origination Date 07-21-2021</p>	<p>PROJECT MANAGER J.T.S.</p> <p>DRAWING SCALE 1"=50'</p> <p>SHEET NUMBER 3 OF 4</p>
<p>LENAPE VALLEY ENGINEERING</p> <p>Civil Engineering • Subdivision • Land Development</p> <p>P.O. Box 74, Chalfont, Pennsylvania 18914 Tel (215) 622-1414 Fax (267) 308-0524 Lenape@lenapeva.com</p>	
<p>DRAFTED BY B.C.S.</p> <p>PROJECT NUMBER 2432</p>	



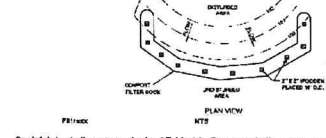
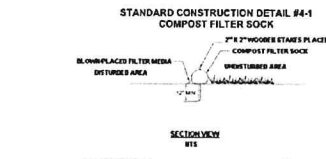
Blanket shall be installed in accordance with the manufacturer's recommendations. Blanketed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 75% coverage throughout the blanketed area. Damaged or displaced blankets shall be restored or replaced within 4 calendar days.

363-2134-008 / March 31, 2012 / Page 214



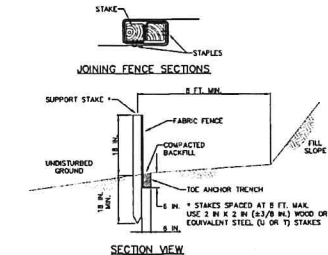
A suitable impervious geomembrane shall be placed at the location of the washout prior to installing the socks. Adapted from Fibrex

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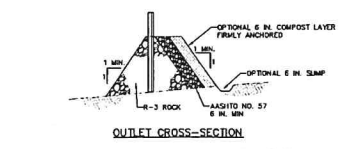
Compost filter sock shall be placed at existing level grade. Both ends of the sock shall be extended at least 8 feet up slope at 45 degrees to the main sock alignment (Figure 4.1). Maximum slope length above any sock shall not exceed that shown on Figure 4.2. Socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Traffic shall not be permitted to cross filter socks. Accumulated sediment shall be removed when it reaches half the aboveground height of the sock and disposed in the manner described elsewhere in the plan. Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations. Upon stabilization of the area tributary to the sock, stakes shall be removed. The sock may be left in place and vegetated or removed. In the latter case, the sock shall be cut open and the mulch spread as a soil supplement.

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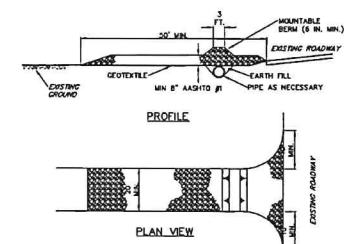
FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL. FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES. SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE, BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE. ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL #4-8).

STANDARD CONSTRUCTION DETAIL #4-7
STANDARD SILT FENCE (18\"/>



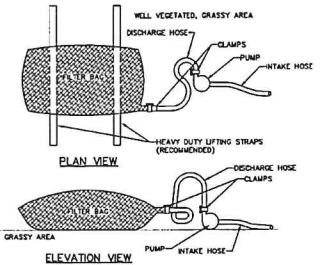
A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARrier HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND TV WATERSHEDS. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

STANDARD CONSTRUCTION DETAIL #4-8
ROCK FILTER OUTLET



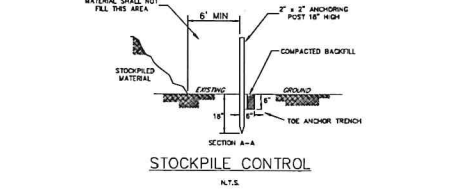
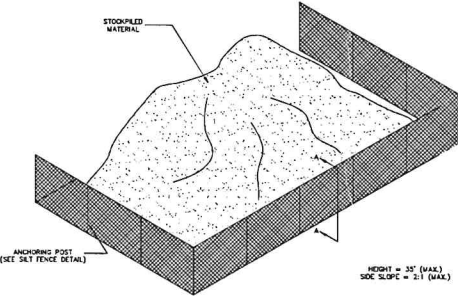
ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THRESHOLD SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY REMOVING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXCEEDING LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITIONS ARE ALLEVIATED OR INSTALL WASH BACK BEHIND THE ROADWAY OR SHEDDING THE DEPOSITS INTO ROADWAY DITCHES, DRENCHES, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE



LOW VOLUME FILTER BAGS SHALL BE MADE FROM HIGH-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED 4\"/>

STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG



STOCKPILE CONTROL

SEEDING PROCEDURES

TEMPORARY SEEDING FOR CRITICAL AREAS		
TYPE OF COVER AND SPECIES OR MIXTURES	AMOUNT PER 1,000 SQ. FT.	AMOUNT PER ACRE
#1 Rye Grass	1 lb.	20-40 lbs.
#2 Spring Oats	2.5 lbs.	96 lbs.
#3 Winter Rye	3.4 lbs.	140 lbs.
Fertilizer 10-20-10		300 lbs.
Mulch		3 tons

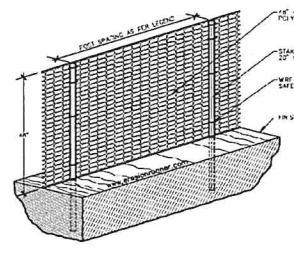
PERMANENT SEEDING FOR CRITICAL AREAS		
TYPE OF COVER AND SPECIES OR MIXTURES	AMOUNT PER 1,000 SQ. FT.	AMOUNT PER ACRE
I. WELL DRAINED:		
#4 Ky. 31 Tall Fescue	1 lb.	35 lbs.
Red Top	1/2 lb.	10 lbs.
Birdsfoot Trefoil	1 lb.	10 lbs.
#5 Red Fescue	2 lbs.	35 lbs.
Red Top	1 lb.	5 lbs.
Birdsfoot Trefoil	1 lb.	10 lbs.
#6 Crown Vetch	2 lbs.	10 lbs.
Rye Grass	1 lb.	20 lbs.
I. POORLY DRAINED:		
#7 Reed Canary Grass	2 lbs.	30 lbs.
Birdsfoot Trefoil	1/2 lb.	10 lbs.

RECOMMENDED FERTILIZATION RATE	
Fertilizer - 300 lbs. 10-20-10 or 8-24-8 per acre.	
Lime - 3 tons per acre.	
Mulch - 3 tons per acre.	

Sensitive Area/Tree Protection

48\"/>

SAF#	48\"/>
SAF10	48\"/>
SAF9	48\"/>
SAF8	48\"/>
SAF7	48\"/>
SAF6	48\"/>



- ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
- ALL TRENCHES IN THE CONSTRUCTION AREA MUST BE IMMEDIATELY REVEGETATED FOR EROSION CONTROL.
- ALL TRENCHES SHALL BE INSTALLED WITH PROPER SLOPES AND PROTECTED WITH PROTECTIVE FENCING AS PER PLAN.
- ALL TRENCHES SHALL BE INSTALLED WITH PROPER SLOPES AND PROTECTED WITH PROTECTIVE FENCING AS PER PLAN.
- ALL TRENCHES SHALL BE INSTALLED WITH PROPER SLOPES AND PROTECTED WITH PROTECTIVE FENCING AS PER PLAN.

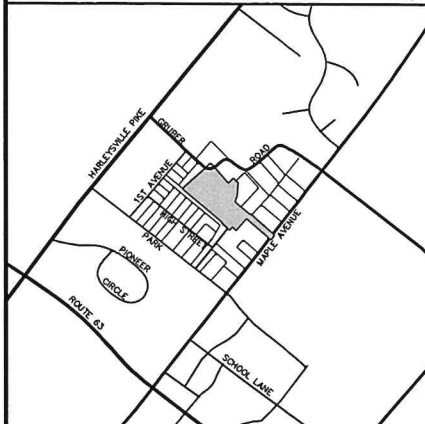
<p>DETAIL SHEET</p> <p>Prepared by</p> <p>JAMES W. & SUSAN DEANER WILEY</p> <p>As part of</p> <p>209 MAPLE AVE DRIVEWAY PIPE REPLACEMENT</p>		
<p>LOWER SALFORD TOWNSHIP</p> <p>MONTGOMERY COUNTY</p> <p>PENNSYLVANIA</p>		
<p>JASON T. SMELAND</p> <p>PROFESSIONAL ENGINEER</p> <p>PA NO. 059306</p>		
<p>GRAPHIC SCALE</p>		
PROJECT MANAGER	DRAWING SCALE	SHEET NUMBER
J.T.S.	NTS	
DRAFTED BY	PROJECT NUMBER	
B.C.S.	2432	4 of 4

LENAPE VALLEY ENGINEERING

Civil Engineering • Subdivision • Land Development

P.O. Box 74, Chalfont, Pennsylvania 18914
Tel (215) 622-1414 Fax (267) 308-0324
Lenapeconval@verizon.net

SITE LOCATION MAP (1"=800')



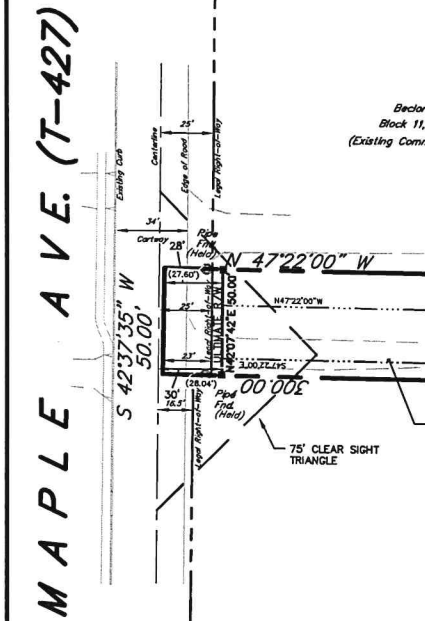
LEGEND

- FLOODPLAIN
- EASEMENT
- PROP. EDGE OF ROAD
- CENTERLINE
- PROP. RIGHT-OF-WAY
- PROP. LOT LINES
- PROP. BUILDING SETBACK LINE
- PROP. BUFFER LINE
- PROP. MONUMENT (TO BE SET)
- EXISTING IRON PIN
- ⊙ PROP. STREET LIGHT
- ⊕ PROP. SIGN
- ⊕ PROP. STREET SIGN
- x-x- FENCE
- x-x- EXISTING EASEMENT
- x-x- TRACT BOUNDARY
- x-x- EXIST. RIGHT-OF-WAY
- x-x- ADJOINING PROPERTY LINE
- x-x- EXIST. EDGE OF ROAD
- x-x- EXIST. CENTERLINE
- x-x- ZONING LINE

ACT 287 NOTIFICATION

THE UNDERGROUND UTILITY LINE PROTECTION LAW (ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996) 1-800-242-1778 SITE SERIAL NO. 0925622

ATTENTION ALL CONTRACTORS: LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM THE UTILITY COMPANY RECORDS AND OR ABOVE GROUND INSPECTION OF SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE CALL SYSTEM. 1-800-242-1778, NO LESS THAN 3 NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.



SHEET INDEX

SHEET NO.	DESCRIPTION
1 OF 10	PLAN OF SUBDIVISION
2 OF 10	EXISTING FEATURES PLAN
3 OF 10	CONSTRUCTION IMPROVEMENT PLAN
4 OF 10	EROSION AND SEDIMENTATION CONTROL PLAN
5 OF 10	LANDSCAPING PLAN
6 OF 10	DETAIL SHEET
7 OF 10	DETAIL SHEET
8 OF 10	AERIAL PHOTOGRAPH OVERLAY PLAN
9 OF 10	PROF. MAPLE & GRUBER
10 OF 10	POST CONSTRUCTION STORMWATER PLAN

TAX PARCEL INFORMATION

SUBJECT TRACT MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX INFORMATION AS FOLLOWS:

LOWER SALFORD TOWNSHIP

RECORDED DEED DATA IS AS FOLLOWS:

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN PENNSYLVANIA

PARCEL NO.	BLOCK/UNIT	DEED BOOK/PAGE	RECORD OWNER	TRACT AREA
50-00-002353-009	11/57	4895/00828	JAMES W. & SUSAN DEANER WILEY	4.69 AC.
			209 MAPLE AVE HARLEYSVILLE, PA 19438	

ZONING SUMMARY

OBTAINED FROM THE LOWER SALFORD TOWNSHIP ZONING ORDINANCE, AS LAST AMENDED, REFERENCE ARTICLE IX, SECTION 164-37 - 164-39.

DISTRICT CLASSIFICATION: "R-2" - RESIDENCE DISTRICT

REQUIREMENT	ALLOWED/REQUIRED	ACTUAL/PROPOSED
MINIMUM LOT AREA:	32,500 S.F.	>32,500 S.F.
MINIMUM LOT WIDTH @ BUILDING LINE:	125 FT.	125 FT.
FRONT YARD SETBACK:	60 FT.	60 FT.
SIDE YARD RESTRICTION:	30 FT.	30 FT.
REAR YARD RESTRICTION:	30 FT.	30 FT.
MAXIMUM BUILDING HEIGHT:	35 FT.	< 35 FT.

GENERAL NOTES

- TITLE LINE INFORMATION TAKEN FROM DEEDS AND PLANS OF RECORD AND A SURVEY BY RICHARD C. MAST ASSOCIATES, P.C., COMPLETED IN JULY 2002. TOPOGRAPHICAL DATA WAS OBTAINED BY GROUND SURVEY PERFORMED BY RICHARD C. MAST ASSOCIATES, P.C. IN JULY 2002. BENCHMARK: SANITARY MANHOLE 100; ELEVATION 310.70 (LOCATED IN MAPLE AVENUE).
- THE AREA BETWEEN THE ULTIMATE RIGHT-OF-WAY AND TITLE LINES OF MAPLE AVENUE AND GRUBER ROAD IS HEREBY OFFERED FOR DEDICATION TO LOWER SALFORD TOWNSHIP.
- ALL PROPOSED LOTS WILL BE SERVED WITH PUBLIC SEWER AND WATER.
- GAS, ELECTRIC, TELEPHONE AND CABLE TV FACILITIES FOR ALL LOTS WITHIN THE DEVELOPMENT SHALL BE PROVIDED BY UNDERGROUND SERVICE AND SHALL BE APPROVED FOR THEIR LOCATION PRIOR TO INSTALLATION.
- CONCRETE MONUMENTS SHALL BE SET AS SHOWN ON PLANS. ALL OTHER LOT CORNERS WILL BE FINISHED AT THE COMPLETION OF FINAL GRADING.
- DETAILED GRADING PLANS SHALL BE SUBMITTED TO THE TOWNSHIP AND REVIEWED BY THE TOWNSHIP ENGINEER PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR ANY NEW LOT.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOWER SALFORD TOWNSHIP, LOWER SALFORD TOWNSHIP MUNICIPAL AUTHORITY, AND PADOT STANDARDS AND SPECIFICATIONS.
- WHICHEVER MAY BE GREATER, INTERPRETATION SHALL REST WITH THE TOWNSHIP ENGINEER OR HIS REPRESENTATIVE.
- LOTS 1 AND 2 ARE SUBJECT TO ALL REQUIREMENTS AND PROVISIONS WITHIN THE LOWER SALFORD TOWNSHIP GRINDER PUMP ORDINANCE.
- KEEPING AND RAISING LIVESTOCK SHALL BE TERMINATED WHEN LESS THAN 3 CONTIGUOUS ACRES OF LAND IS OWNED BY THE APPLICANT.
- CLEAR SIGHT TRIANGLES SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 142-28 OF THE LOWER SALFORD ZONING ORDINANCE.
- NO TREES OR LANDSCAPE PLANTINGS, STRUCTURES, OR FENCES SHALL BE PERMITTED WITHIN ANY EASEMENT. PROPERTY OWNERS SHALL MAINTAIN ALL UTILITY EASEMENT AREAS AS LAWN.
- THE ACCESS EASEMENT ON LOTS 2 AND 3 IS CREATED FOR THE PORTION OF THE SHARED DRIVEWAY FOR THESE LOTS.
- INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR THE CONTINUOUS MAINTENANCE OF ALL BMP'S (BEST MANAGEMENT PRACTICES) IMPLEMENTED ON THIS SITE. (SEE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN).
- STORMWATER BMP'S ARE FEATURES THAT SHALL NOT BE ALTERED OR REMOVED WITHOUT APPROVAL BY THE TOWNSHIP.
- THE PROPOSED IMPROVEMENTS REQUIRE MORE THAN 1 ACRE OF TOTAL SITE DISTURBANCE. AN NPDES PERMIT MUST BE OBTAINED FOR THE ENTIRE SITE PRIOR TO ANY AERIAL DISTURBANCE.

SUPPORTING DOCUMENTS

- STORMWATER MANAGEMENT REPORT DATED APRIL 5, 2004 AND LAST REVISED NOVEMBER 21, 2005.
- EROSION AND SEDIMENTATION CONTROL PLAN DATED NOVEMBER 21, 2005.
- POST CONSTRUCTION STORMWATER MANAGEMENT NARRATIVE DATED NOVEMBER 21, 2005.
- NOVA CONSULTANTS SOILS REPORT DATED JUNE 6, 2004.

WAIVERS REQUESTED

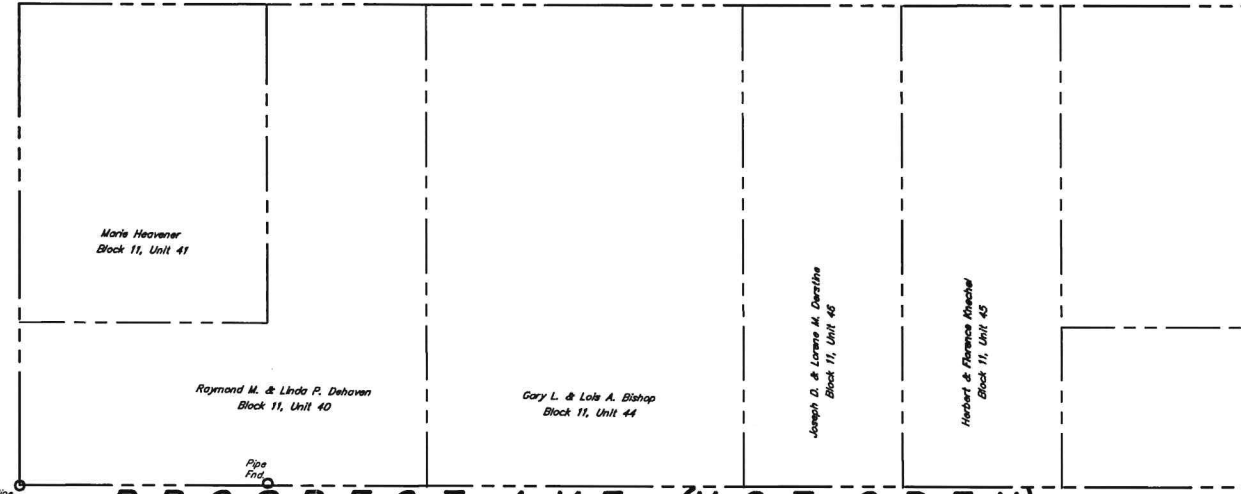
- WAIVER FROM SECTION 142-19A(4) PERTAINING TO REQUIRED IMPROVEMENTS OF EXISTING STREETS FOR MAPLE AVE. & GRUBER ROAD.
- WAIVER FROM SECTION 142-130 REGARDING THE PROVISION OF EXISTING FEATURES INFORMATION WITHIN 100 FEET OF TRACT BOUNDARY.
- WAIVER FROM SECTION 142-42 REQUIREMENT TO LABEL SPECIES OF EXISTING TREES.
- WAIVER TO PERMIT A 3 TO 1 SLOPE ALONG A PORTION OF THE LOT 1 DRIVEWAY.
- WAIVER FROM SECTION 142-42(C) TO ALLOW TWO 24" TREES AND ONE 30" TREE, WHICH WILL REMAIN IN THE POST DEVELOPED CONDITION, TO BE COUNTED AS PRESERVED.

APPLICANT INFORMATION

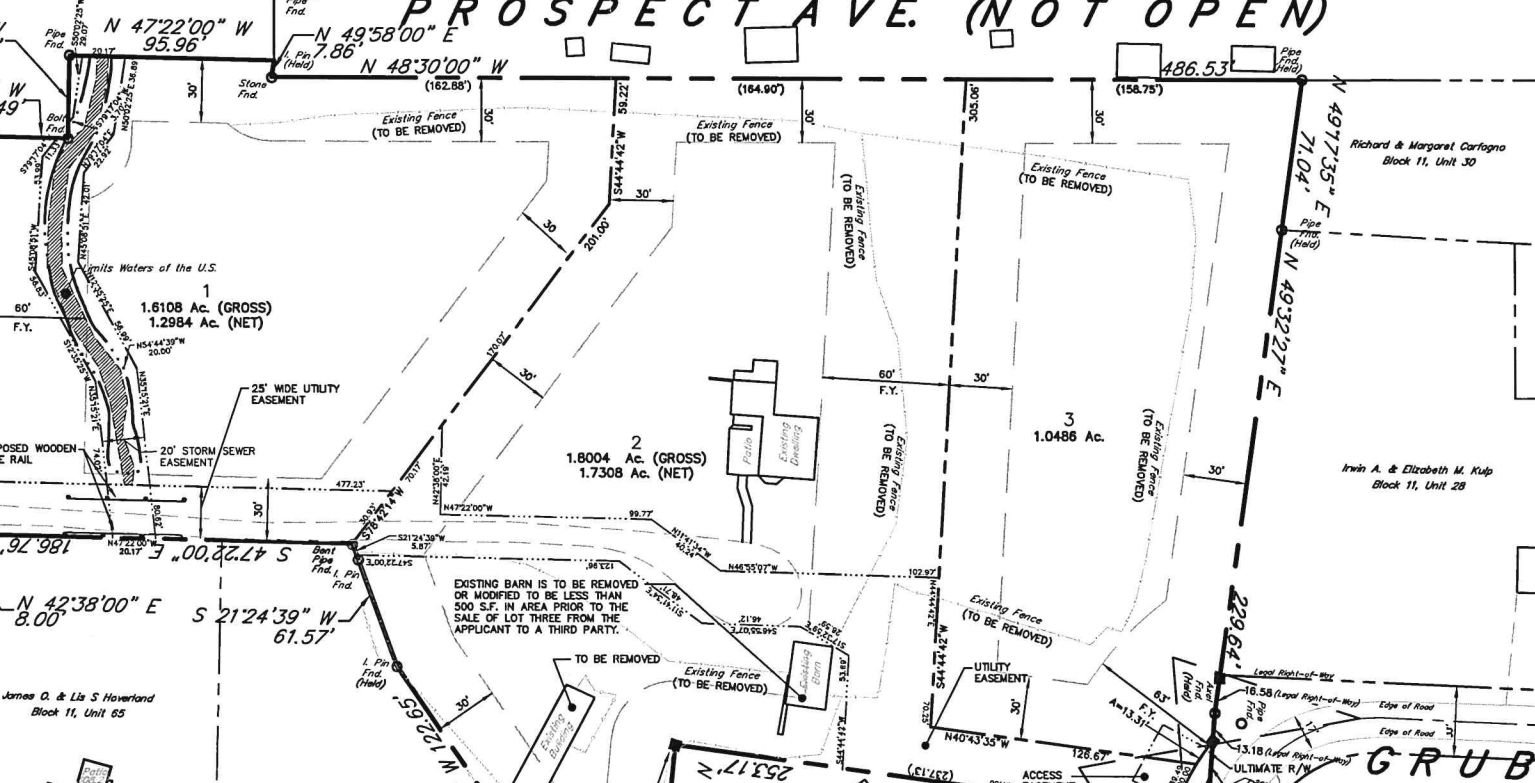
JAMES W. & SUSAN DEANER WILEY
209 MAPLE AVE
HARLEYSVILLE, PA 19438

HIGH STREET

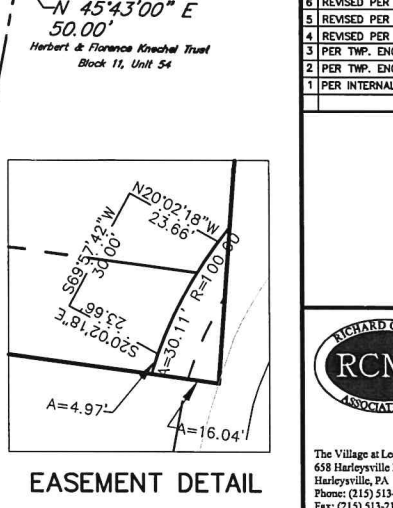
SECOND STREET



PROSPECT AVE. (NOT OPEN)



GRUBER ROAD (T-377)



RECORDING ACKNOWLEDGEMENTS

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF MONTGOMERY) SS:

WE, JAMES W. & SUSAN DEANER WILEY, HAVE LAID OUT UPON OUR LAND SITUATED IN LOWER SALFORD, MONTGOMERY COUNTY PENNSYLVANIA, CERTAIN IMPROVEMENTS ACCORDING TO THIS PLAN WHICH IS INTENDED TO BE RECORDED.

JAMES W. WILEY _____ SUSAN DEANER WILEY _____

ON THIS _____ DAY OF _____, 200____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED, JAMES W. & SUSAN DEANER WILEY, KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGE THAT THEY EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

COMMISSION EXPIRATION DATE _____

APPROVED BY THE BOARD OF SUPERVISORS OF LOWER SALFORD TOWNSHIP, COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, ON THE _____ DAY OF _____, 200____.

SECRETARY _____ CHAIRMAN _____

APPROVED BY THE LOWER SALFORD TOWNSHIP PLANNING COMMISSION ON THIS _____ DAY OF _____, 200____.

SECRETARY _____ CHAIRMAN _____

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____ NUMBER _____ PAGE NUMBER _____ ON THIS DAY OF _____, 200____.

MCPD No. 04-149-2

PROCESSED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipalities Planning Code.

Certified this date _____

For the Director
Montgomery County Planning Commission

SURVEYOR'S CERTIFICATE

I, EDWARD M. HUBER, P.L.S., HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME AND THAT THE MONUMENTATION SHOWN HEREON EXISTS AS LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SU-040378-R
REGISTRATION NO. _____ EDWARD M. HUBER, P.L.S.

WETLANDS CERTIFICATION

I, JOHN F. SZCZEPANSKI, PH.D., ACKNOWLEDGE THAT THE WETLANDS DELINEATION LINES AS SHOWN ON THIS PLAN HAVE BEEN PERFORMED IN ACCORDANCE WITH THE CRITERIA FOR WETLANDS DELINEATION ESTABLISHED IN THE 1987 U.S. ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND CORRECTLY REPRESENT THE LINES I ESTABLISHED IN THE FIELD.

JOHN F. SZCZEPANSKI, PH.D. _____ DATE _____
PRESIDENT, NOVA CONSULTANTS, LTD.

RECORD PLAN SHEET 1 OF 1

NO.	REVISION	DATE
10	REVISED PER TWP. ENG. REVIEW	MARCH 30, 2009
9	REVISED PER INTERNAL REVIEW	OCTOBER 8, 2007
8	REVISED PER TWP. ENG. REVIEW	AUGUST 8, 2007
7	REVISED PER TWP. ENG. REVIEW	JANUARY 12, 2007
6	REVISED PER TWP. ENG. REVIEW	OCTOBER 10, 2006
5	REVISED PER TWP. ENG. REVIEW	MAR. 23, 2006
4	REVISED PER TWP. ENG. REVIEW	NOV. 21, 2005
3	PER TWP. ENG. REVIEW	FEB. 16, 2005
2	PER TWP. ENG. REVIEW	AUGUST 5, 2004
1	PER INTERNAL REVIEW	JUNE 4, 2004

PLAN ORIGINATION DATE _____ April 8, 2004

RECORD PLAN

PREPARED FOR
JAMES & SUSAN WILEY
SITE SITUATE IN
LOWER SALFORD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

RICHARD C. MAST ASSOCIATES, P.C.
Consulting Engineers and Surveyors

Richard C. Mast Associates, P.C.
658 Harleysville Pike, Suite 150
Harleysville, PA 19438
Phone: (215) 513-2100
Fax: (215) 513-2101

Graphic Scale

DRAWN BY	PROJECT MANAGER	DRAWING SCALE	SHEET NUMBER
JTS	JTS	1"=40'	1 of 10

PROJECT NO. 1638
FILE NAME 1638ZSUB

4/5/23 Agenda



980 Jolly Road, Suite 110
PO Box 3001
Blue Bell, PA 19422-3001
Tel 610.397.6500 Fax 610.397.0450
www.foxrothschild.com

ANDREW D. SANTANA
Direct No: 610.397.7965
Email: ASantana@FoxRothschild.com



March 9, 2023

VIA FEDEX

Mr. Joseph S. Czajkowski
Township Manager
Lower Salford Township
379 Main Street
Harleysville, PA 19438

Re: Transfer of Restaurant Liquor License R-19099, LID No. 47523 from IAT, Inc., d/b/a The Lucky Dog Saloon and Grille to Henning’s Super Market, Inc.

Dear Mr. Czajkowski:

Please be advised that this Firm represents Henning’s Super Market, Inc. (“**Henning’s**”). This letter follows up my telephone conversation with the Township’s Solicitor, Jim Garrity. Henning’s intends to purchase Pennsylvania Liquor Control Board Restaurant Liquor License No. R-19099 from IAT, Inc., d/b/a The Lucky Dog Saloon and Grille, which was previously located at 417 Germantown Pike, Lafayette Hill, Pennsylvania 19444. If purchased, the liquor license would be used at Henning’s store located at 290 Main Street, Lower Salford Township (the “**Township**”).

This is an inter-municipal transfer in accordance with the Rules and Regulations of the Pennsylvania Liquor Control Board. Consequently, a hearing must be held by the Township’s Board of Supervisors to determine whether the Township will agree to permit this license to be transferred to a premises within the Township.

We are aware that the meetings for the Township’s Board of Supervisors are held on the first Wednesday of each month. We respectfully request to be added to the agenda for the Board of Supervisors meeting scheduled for April 5, 2023. We would like to make a very brief presentation in connection with the proposed transfer of this liquor license to Henning’s premises at 290 Main Street.

In order to expedite the transfer process with the Liquor Control Board, the Liquor Control Board has requested that we provide written confirmation of our scheduled appearance before the Board of Supervisors. Therefore, we respectfully request that you confirm, in writing, that we will be permitted to appear before the Board of Supervisors at the meeting scheduled for April 5, 2023. An email confirmation is sufficient.

A Pennsylvania Limited Liability Partnership

California Colorado Delaware District of Columbia Florida Georgia Illinois Minnesota Nevada
New Jersey New York North Carolina Pennsylvania South Carolina Texas Virginia Washington



Fox Rothschild LLP
ATTORNEYS AT LAW

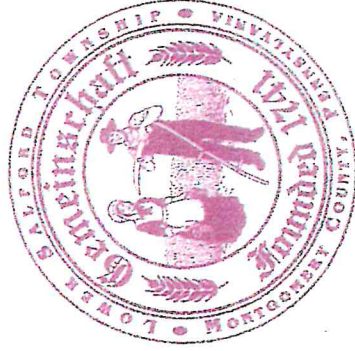
Mr. Joseph S. Czajkowski
Township Manager
March 9, 2023
Page 2

Thank you very much for your consideration regarding the above. Please let me know if you have any questions.

Respectfully,

Andrew D. Santana

cc: James J. Garrity, Esquire, Township Solicitor (via email only)



Lower Salford Township
Montgomery County, Pennsylvania

PROCLAMATION

National Library Week 2023

WHEREAS, today's libraries are more about what they can do with and for their communities, and not just about what they have on the shelves;

WHEREAS, libraries have long served as trusted institutions, often the heart of their cities, towns, schools, and academic campuses;

WHEREAS, libraries serve people of all ages, interests and backgrounds providing the resources and space to engage in life-long learning;

WHEREAS, libraries offer equipment and professional staff support to utilize technology, programs and services; often free or with nominal charges to users;

WHEREAS, libraries are a resource for all - regardless of race, ethnicity, creed, ability, sexual orientation, gender identity or socio-economic status;

WHEREAS, we recognize librarians as information professionals who provide expertise, services and guidance for patrons to access credible sources and material, making their own informed decisions about the world today;

WHEREAS, libraries provide access to and display a wide range of information not just a majority opinion or single perspective;

WHEREAS, librarians hold the professional values of diversity, equity and inclusion to meet the needs of all users;

WHEREAS, the PA Forward@, Literacy is POWER, initiative highlights how libraries and staffs encourage literacy in Basic, Information, Civic & Social, Health, and Financial, which contributes to greater personal and community success;

WHEREAS, America is celebrating National Library Week including April 25 as National Library Workers' Day and the immeasurable contributions made by library workers; April 26 as National Outreach Day showing library services are not limited to their physical location; and April 27 as Take Action for Libraries Day encouraging community support for libraries;

NOW, THEREFORE, be it resolved that we the Board of Supervisors proclaim National Library Week, April 23-29, 2023 in the Township of Lower Salford. During this week, we encourage all residents to visit our libraries, and explore all that they offer to help move PA Forward@!

Attest:

Joseph S. Czajkowski
Secretary

BOARD OF SUPERVISORS
LOWER Salford TOWNSHIP

Keith A. Bergman, Chairman




East Vincent Township
Public Works Building

**MK
SD**
architects

QUALIFICATIONS

Lower Salford Township
Public Works

March 10, 2023


Boyle
CONSTRUCTION
MANAGEMENT



Boyle

CONSTRUCTION
MANAGEMENT

**MK
SD**

architects

**PROJECT
APPROACH
AND
SCOPE**

PROJECT APPROACH



Established in 1741 and located in central Montgomery County, Lower Salford Township is home to nearly 15,470 residents. It has a long-standing history, rich in heritage, landscape and architecture and continues to grow and prosper. In line with this continued commitment to its residents, a new public works facility will assist the team in meeting the needs of the Township in an efficient manner. This will benefit both the administration, township employees and residents and form the foundation for addressing current and future needs.



We understand your Public Works Facility goals as outlined:

- Adequate space to accommodate future Public Works for the next 50 years.
- Consolidation of all operations into one centralized facility.
- Sufficient space to house current and future equipment, materials, and employees.
- Building size to be approximately 28,000 sf
- Salt shed and material storage bins.
- Phased project, with new building construction to occur while existing building in operation.

1

PHASE I-RESEARCH AND DATA COLLECTION:

MKSD architects will prepare a needs analysis and evaluate the opinions and assessments of various stakeholders. This will be achieved by acting as facilitators for interviews and/or open forums. The open forums will be organized, engaging and positive with the goal of having all opinions heard and valued. Smaller stakeholder meetings and workshops will also be held which are a deeper dive into the Township's needs. Stakeholder group meetings will be tailored to the clients desires.

Data will also be collected in regard to the existing Municipal Campus property, including vehicular traffic and patterns, access to roads, signage, wayfinding, parking, pedestrian flow, existing buildings and potential future building sites. This will inform future decisions and how everything is integrated into the campus.

2

PHASE II-FACILITY PROGRAMMING ANALYSIS

When Research and Data collection has been completed, MKSD will develop a facility program that will include all space requirements for the complex, including both current needs and future needs. This program will be based on each activity that will take place in the buildings or campus. This will form the basis for the conceptual Site Plans and any building plans.

Once the program is approved by the township, MKSD will develop options of site plans and floor plans to be reviewed by the stakeholders. The plans will consist of all spaces within buildings and the outdoor spaces that surround the buildings.

Collaboration and communication with all stakeholders is critical at this stage and all plans will be reviewed in an open forum. Once comments are received, we will move to phase III.

3

PHASE III-CONCEPTUAL DESIGN PHASE

Phase III will entail developing conceptual building designs and site layouts that address any concerns brought up during Phase II. The presentations of these designs will be graphics heavy to convey the floor plans, building design and site details.

The final step of the study is to share plans, details and other information with Boyle Construction to develop cost estimates and schedules for each option. Combined together, the Master Plan deliverables will include assessments, programs, design concepts, cost estimates and schedules which will inform and assist the owner in making the most effective decisions in moving forward.

SCOPE OF WORK

Boyle Construction will lead the project team through all 3 phases proposed by MKSD Architects and work with the team to add additional consultants as necessary. Specific tasks for the Boyle team include:

- Conduct a kickoff meeting
- Review all available data from the Township on the site constraints, etc. in order to develop an accurate base map of the site with CKS
- Review all utilities, parking requirements, Township Ordinance requirements, etc. in developing the conceptual plans with CKS.
- Prepare meeting agenda and prepare notes for all meetings along with continual follow up on tasks for all team members.
- Attend bi-weekly meetings, conferences, and overall project coordination with the Township staff, Stakeholders, MKSD, CKS and other consultants.
- Work with MKSD and consultants on programming and conceptual building design, offer value engineering suggestions, life cycle costing ideas and any early constructability ideas.

- Provide budgets on final conceptual building layout and site layout.
- Prepare a bar chart preconstruction and high-level construction schedule.
- Prepare a site logistics and phasing plan for construction activities
- Work alongside MKSD and consultants in finalizing the study and presenting it to the Board and any other stakeholders.

PROJECT TEAM SCHEDULE AND FEE

Boyle Construction and MKSD Architects anticipate the duration of these services to be 3 to 4 months.

We propose a time and material not-to-exceed fee based on the scope of services and projected timeline as discussed. Boyle Construction Management and MKSD Architects will bill monthly with hours and staff indicated on each invoice. All personnel costs are inclusive of taxes, insurance, overhead, expenses and profit. There are no other costs or mark-ups, fees, or multipliers. Our project team not-to-exceed fee is \$15,000.





Boyle

CONSTRUCTION
MANAGEMENT

**FIRM
PROFILE**

ABOUT THE COMPANY



Boyle Construction is a medium-size firm with over 90 employees. Over Boyle's 45 years in operation, we have performed various project types such as education, healthcare, multi-family, municipal and civic, emergency services, recreation, office buildings, manufacturing, pharmaceutical and biotech, hospitality, and restaurants. Boyle works in all types of construction from new and interior tenant improvements to additions and renovations.

Boyle maintains an unblemished record of completing projects ahead of schedule, under budget, and safely. Our highly qualified staff and standard operating procedures consistently surpass client expectations. In fact, 85% of our annual business is from repeat clients.

UNIQUELY QUALIFIED

Boyle Construction's project philosophy is to work in harmony as a leader of the Project Team, with our main role as managing the project's time and costs. The Team features many members—from the owner to architects and civil, structural, mechanical and electrical engineers to commissioning agents, testing consultants, and contractors. As the owner's representative, Boyle is responsible for providing project information and presenting feedback regarding the process, project costs, constructability, and schedule. Boyle can also assist with the land development approval process.

Boyle offers extensive leadership experience of new construction, renovations, and additions. We have worked with many cities, school districts and townships.

Our most extensive Agency Construction Management experience is with municipal facilities both new and renovations. Since 2000, we have led the project team in selecting prime contractors and working on-site to ensure the budget, schedule, quality, and safety are met to the highest standards of public agencies. Some examples include projects in Carbon, Lehigh, and Northampton counties; Bristol, East Vincent, Hatfield, Lower Macungie, Newtown, Northampton, Palmer, and Warrington townships; and the cities of Allentown, Bethlehem, Coatesville, Easton, and Reading. Please see the following pages for specific project examples of our extensive experience.

Many of Boyle's project managers have design backgrounds, so we understand how to budget design documents. Consequently, our attention to detail and design requirements is extensive. Understanding the design process allows us to see the project's big picture and intent. If we need to propose value engineering and design alternatives, we offer the unique ability to keep the project's design integrity. Boyle also works closely with our clients and contractors to ensure that all state and federal funding compliance requirements are met in a timely and organized manner.



Boyle CONSTRUCTION
MANAGEMENT

1209 Hausman Road, Suite B
Allentown, PA 18104-9300
(484)223-0726

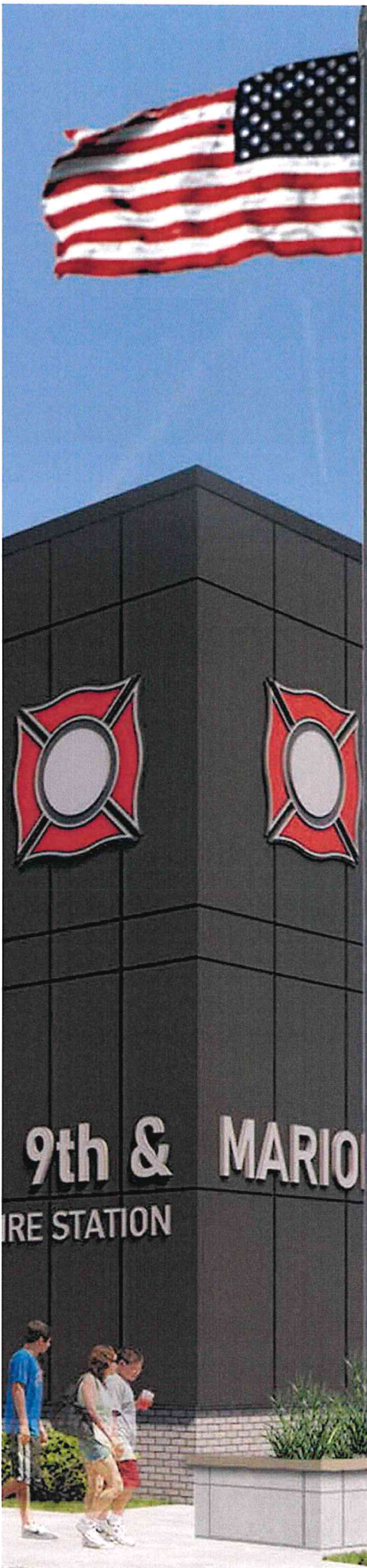
www.boyleconstruction.com

Contact:

Tony Ganguzza, Vice President
Professional Services
tganguzza@boyleconstruction.com

Boyle has one office and is headquartered in the Lehigh Valley, incorporated in 1977, and a Pennsylvania S Corporation.





PROJECT EXPERIENCE



As one of the most experienced public agency construction managers in Pennsylvania, Boyle Construction has managed public entity projects for over 45 years. Year over year, approximately 30% of our projects are for Pennsylvania public work. We are very familiar with public projects' unique requirements and excel at accurately estimating their costs and services and delivering them on time. We have conducted feasibility studies, estimated costs, driven schedules, creatively bid, managed contractors, and built all types of municipal projects throughout Pennsylvania.

Boyle offers many architectural and engineering professionals and project managers with design backgrounds. We understand how to prepare, review, and budget design documents. Consequently, our attention to detail and the design requirements is extensive. Understanding the design process allows us to see the project's big picture and its design intent. If we need to propose value engineering or any design alternative, Boyle offers the unique ability to keep the project's design integrity. Our highly qualified personal propose value

"The Boyle Construction team did an awesome job in managing this project for Warrington Township. Dealing with five or six prime contractors and the multitude of sub-contractors can be a daunting task and the Boyle team did a stellar job!"

— Barry Luber, Warrington Township Manager

engineering, constructability, and life cycle costing recommendations to help municipalities save money during construction as well as in the long term, on facility maintenance and operations costs.

We understand local requirements, we have worked for many municipalities within the southeastern PA region.

Boyle is also very experienced at the public bidding process and we strategize with our clients to lower costs and shorten schedules without sacrificing quality or programming. Most of the public construction projects that we manage average five to six prime contractors. We review bid packages from a creative standpoint to maximize efficiency through the number of prime contractors. It may make sense for some projects to lump trades together to achieve the best price. While for other projects, it is necessary to separate trades to make the field more competitive.

Once selected, contractors understand from our first meeting that Boyle is there to help them succeed. We have even had contractors whom we normally compete with write letters of recommendation on Boyle's management skills and staff competency. For example, "The Lower Macungie job finished on time and on budget. From a General Contractor's perspective, the job flowed smoothly, and Boyle helped to expedite the project, not delay it with what I call good Project Management Protocol. I have worked with other construction managers. Some are more helpful than others, and Boyle definitely is an asset to any project in what they bring to the table in terms of scheduling and coordination. While we understandably did not agree on every issue, due to the fact that Boyle represented the Township and were looking out in their best interests, I can say that Boyle was fair, reasonable and definitely was a benefit and, in the end, all parties were satisfied," Brian Dempsey, President, DeCo Management Group.

7 • Lower Salford Township Public Works



Boyle

CONSTRUCTION
MANAGEMENT

PROJECTS

South Whitehall Township Administration, Police and Public Works

ALLENTOWN, PENNSYLVANIA

Client: South Whitehall Township

Contact Name:

Chief Glen Dorney
Chief of Police
4444 Walbert Avenue
Allentown, PA 18104
610-398-0337
dorneyg@swtwpd.org

Consultants: MKSD Architects

Services: Agency Construction Management

Contracts: Public Procurement

Final CM Budget: \$8,500,000

Base Bids: \$8,314,042

Total Change Orders Added Scope: \$154,264

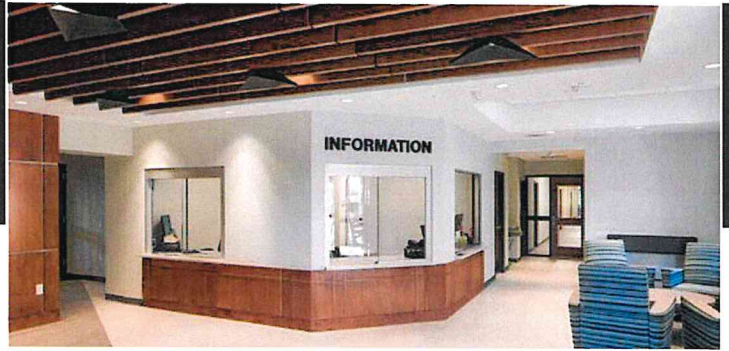
Percentage Change Orders: 1.8%

Final Costs Including Change Orders: \$8,468,306

CM Services Start Date: 6/2019

Construction Start Date: 2/2020

Project Completion Date: 4/2021

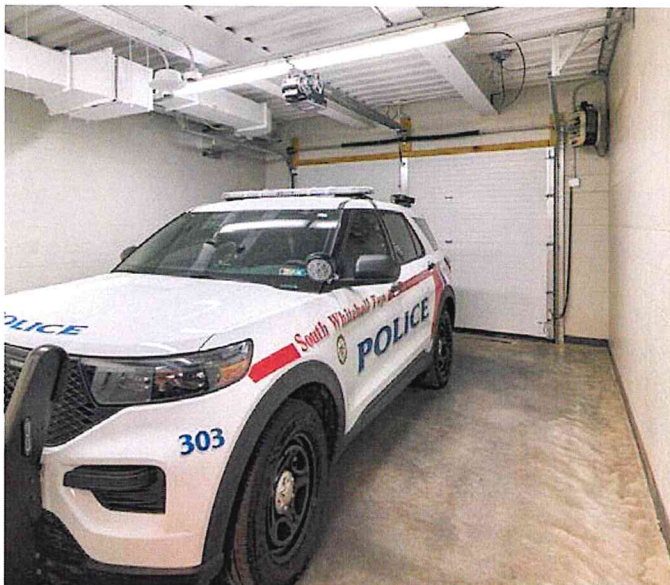


QUICK FACTS

- 33,000 SF total renovation and addition
- Site improvements included a parking lot, utilities, landscaping, lighting, and storage

PROJECT DESCRIPTION

The South Whitehall Township project is an addition and renovation to the existing two-story township building, along with site improvements. The Township campus has multiple administrative departments, police, and public works. The upper level contains all administration, with the lower level containing the police and public works departments. The existing building was renovated for the new layout on the interior with full mechanical system upgrades. The exterior of the existing building upgrades contain, but are not limited to, window replacement, roofing, cleaning/repairing exterior siding, and repair to the cupola. Major renovations needed to occur due to multiple system issues in the dated structure. Departmental flow and security was improved in addition to expanding the public meeting room to accommodate more residents.





QUICK FACTS

- 24,800 SF new police and administration facilities with 15,000 SF Administration/Police Building, 8,200 SF Public Works Building, and 1,600 SF Salt Shed
- Site improvements included a parking lot, utilities, landscaping, lighting, and storage
- Work performed on occupied site/campus

PROJECT DESCRIPTION

East Vincent Township, in rural Chester County, required a new Municipal Complex to replace its existing 7,000 SF building, occupied by the Township's police, public works, and administration staffs. The new space needed to provide ample storage, flexible community space for public meetings, a new public works facility, and a new salt shed. After designing and then bidding the project twice, with both sets of bids coming in way above budget, East Vincent Township hired Boyle Construction as construction manager to solve its over-designed facility. Boyle quickly analyzed the project and offered value engineering solutions that reimagined the Municipal Complex as a 15,200 SF, single-story structure. With a specific scope of work, Boyle again bid the project and this time brought in the new Municipal Complex on budget (including the initial and re-design fees).

The new East Vincent Township Municipal Complex features an Administration/Police Building, Public Works Building, and Salt Shed. These new 24,800 SF of facilities feature spaces for the police department along with public and administration spaces. Spaces include storage, historic archives space, an emergency services area, community training room, locker rooms, file storage space, a public meeting room, pre-function area, Caucus room, an A/V room, and Township administration offices and staff amenity spaces.

East Vincent Township New Municipal Complex

EAST VINCENT TOWNSHIP, PENNSYLVANIA

Client: East Vincent Township

Contact Name:

Ms. Catherine Ricardo, Township Manager
262 Ridge Road
Spring City, PA, 19475
(610)-933-4424
manager@eastvincent.org

Consultants: Alloy5 Architecture, Commonwealth Engineers, Inc.

Services: Agency Construction Management

Contracts: Public Procurement, 5 - Prime contractors

Final CM Budget: \$7,395,000

Base Bids: \$6,350,500

Total Change Orders Added Scope/: -\$44,500

Percentage Change Orders: -0.7%

Final Costs Including Change Orders: \$6,306,000

CM Services Start Date: December 2016

Construction Start Date: May 2017

Project Completion Date: May 2018





Bristol Township Administration Building Renovation/Additions

BRISTOL, PENNSYLVANIA

Client: Bristol Township

Contact Name:

Randee J. Elton, Township Manager
2501 Bath Road
Bristol, PA 19007
267-812-2914
relton@bristol township.org

Consultants: USA Architects, Gilmore Associates, PCS Engineering

Services: Agency Construction Management

Contracts: Public Procurement, 5 - Prime contractors

Final CM Budget: \$4,185,000

Base Bids: \$3,657,900

Added Scope/Change Orders: \$499,124*

Added Scope/Percentage Change Orders: 12.0%

Final Costs Including Change Orders: \$4,157,024

CM Services Start Date: April 2014

Construction Start Date: June 2015

Project Completion Date: January 2016

*Once the project came in under budget, the owner added approximately \$400,000 in scope to the original design, including Police Station renovations, 13 RTV replacements, existing dual pump heating system upgrades and all plumbing fixtures and existing cast iron sanitary fixture replacements.



QUICK FACTS

- 22,000 SF renovation completed during owner occupancy of the existing municipal building
- Bids came in 13% under budget, giving the Township opportunity to add scope of work

PROJECT DESCRIPTION

This multi-component project renovated the existing 22,000 SF Administration Building; added a new police sally port, 3,600 SF salt shed, and 9,000 SF public works garage; and re-roofed the existing facility.

The Administration Building renovation featured new office finishes, HVAC throughout, electrical upgrades, a TV studio, boiler room upgrades, public access area revisions and configuring storage and common areas to make the building more efficient. The new Public Works building houses 9,600 SF for truck and equipment storage with 8 bays. Site work and development included bulk excavation, new underground utility infrastructure, a sidewalk, retaining walls and parking areas.





Palmer Township New Public Works Building

PALMER TOWNSHIP, PENNSYLVANIA

Client: Palmer Township

Contact Name:

Mr. Scott Kistler, Superintendent
3 Weller Place
Palmer, PA 18045
(610) 253-7191
skistler@palmertwp.com

Consultants: Portner and Hetke Architects

Services: General Contractor

Final Cost: \$3,093,387

Construction Start Date: April 2016

Project Completion Date: December 2016



QUICK FACTS

- New 42,500 SF Public Works building
- Features 12 double-door truck bays and 14 single-door truck bays, along with a truck wash facility

PROJECT DESCRIPTION

Boyle served as general contractor for the new Palmer Township public works building, which brought together Palmer Township's public works, utilities, and sewage departments under one roof. The 42,500 SF facility features offices, a kennel, storage, a truck wash, a training room, a service center, 12 double-door truck bays, and 14 single-door truck bays.

The facility's site allows truck bay access from both the east and west sides of the building, with a 35-foot aisle between the two-bay entrances and space for future equipment purchases.



Newtown Township Municipal Complex - Administration Building, Public Works Building and Police Station

NEWTOWN, PENNSYLVANIA

Client: Newtown Township

Contact Name:

Mr. Joe Czajkowski, Former Township Manager

(215) 256-8087

jczajkowski@lowersalfordtownship.org

100 Municipal Drive

Newtown, PA 18940

Consultants: George J. Donovan AIA & Associates; CKS Engineers, Inc.; Michael A. Beech & Associates; Industrial Valley Design; The Stonehouse Group

Services: Agency Construction Management

Contracts: Public Procurement, 5 - Prime contractors

Final CM Budget: \$7,710,000

Base Bids: \$7,167,725

Total Change Orders: \$158,627

Percentage Change Orders: 2.2%

Final Costs Including Change Orders: \$7,326,397

CM Services Start Date: September 2008

Construction Start Date: January 2009

Project Completion Date: November 2009



QUICK FACTS

- LEED Silver Certification, with 96% of demolition and waste materials recycled
- Completed during owner occupancy of entire complex
- 2.21% in change orders for the entire project
- 18,000 SF Administration Building and 23,000 SF Public Works Facility
- Completed five weeks ahead of schedule

PROJECT DESCRIPTION

Boyle oversaw site work and development for a new 18,470 SF municipal administrative office and meeting facility building and a 23,000 SF public works facility. Site work included bulk excavation and new underground utility infrastructure, as well as entrance roads and parking areas.

The administration building included offices for all staff, conference rooms, lunch rooms, several meeting rooms and a large public meeting room with state-of-the-art audio/visual capabilities. The Administration Building is a LEED Silver Certified building and utilizes recycled materials, rapidly renewable materials, energy efficient wall systems, dual flush toilets and waterless urinals. During construction, 96% of the demolition and waste materials were recycled and kept out of disposal facilities and landfills.

The public works building houses offices and sleep quarters for staff, as well as all truck storage and maintenance bays, fuel storage and a pumping station. The building uses hydronic radiant floor heating and has highly insulated CMU and metal panel walls and roofing systems.





Cetronia Ambulance Corps New Headquarters

ALLENTOWN, PENNSYLVANIA

Client: Cetronia Ambulance Corps

Contact Name:

Mr. Larry Wiersch, CEO
4300 Broadway
Allentown, PA 18104
(610)-398-0239
wierschl@cetronia.org

Consultants: Spillman Farmer Architects; Keystone Consulting Engineers; Snyder Hoffman Associates; Barry Isett Associates

Services: Agency Construction Management

Final CM Budget: \$8,862,000

Base Bids: \$7,865,000

Total Change Orders: \$965,805*

Percentage Change Orders: 12%

Final Costs Including Change Orders: \$8,492,243

*Change order due to rock and sinkhole remediation.

CM Services Start Date: April 2013

Construction Start Date: January 2014

Project Completion Date: July 2014



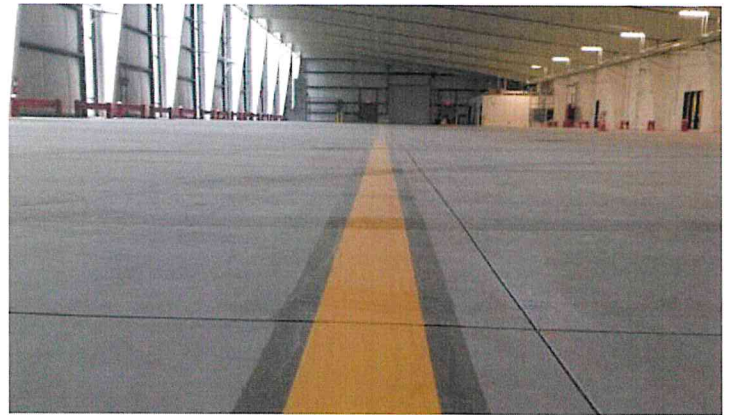
QUICK FACTS

- Only facility of its kind in Lehigh County
- Built during harsh 2014 winter

PROJECT DESCRIPTION

The new Cetronia Ambulance Corps headquarters is a 68,000 SF facility for the joint operations of Cetronia Ambulance Corps and Lehigh County Emergency Management Services. The facility provides an administration and dispatch headquarters for the Cetronia Ambulance Corps regional emergency transport service, and it features a 35,000 SF garage and maintenance facility for Cetronia's ambulance fleet. The Lehigh County Forensics Medicolegal Center is also a tenant of this state-of-the-art building.

Boyle's services included construction management, value engineering and design team coordination.





Boyle CONSTRUCTION
MANAGEMENT

Upper Uwchlan Township Administration and Police CHESTER SPRINGS, PENNSYLVANIA

Client: Upper Uwchlan Township

Contact Name:

Tony Scheivert, Manager
tscheivert@upperuwchlan-pa.gov

Shanna P. Lodge, Assistant Manager
slodge@upperuwchlan-pa.gov

140 Pottstown Pike
Chester Springs, PA 19425
610-646-7018

Consultants:

Hammel Associates
Gilmore & Associates
CS Davidson
Century Engineering

Services: Agency Construction Management

Contracts: Public Procurement

Final CM Budget: \$4,300,000

Base Bids: \$4,013,848

Total Change Orders Added Scope: \$307,998*

Percentage Change Orders: 7.7%*

Final Costs Including Change Orders: \$4,321,848

CM Services Start Date: 12/2018

Construction Start Date: 5/2019

Project Completion Date: 5/2020

* added scope and additional features from original



QUICK FACTS

- 12,500 SF total building renovation
- Site improvements included a parking lot, utilities, landscaping, lighting, and storage
- Includes Sally Port

PROJECT DESCRIPTION

The Upper Uwchlan Township municipal building houses the Township Administration offices and the Police Department. The building has been expanded twice before; first in 1987 when the original addition was made to the historic schoolhouse, and again in 1988. As the Township has grown, so too has the staff and services of the Township Administration and Police Department. Boyle is managing the additional and complete renovation of an existing 2-story building for administration and police expansion. The goal is to accommodate both current and expected future expansion of staff and services. The design adds 2,697SF of office space to the upper level Administration offices and 3,377SF of space to the Police Department on the lower level. The historic schoolhouse, where public meetings are held, will not be altered or expanded. All other areas of the facility will be renovated to accommodate the new design.





Warrington Township New Police Station

WARRINGTON, PENNSYLVANIA

Client: Warrington Township

Contact Name:

Mr. Barry Luber
Township Manager
852 Easton Road
Warrington, PA 18976
215-694-2400
bluber@warringtontownship.org

Consultants:

GKO Architects
CKS Engineers
Consolidated Engineers

Services: Agency Construction Management

Contracts: Public Procurement

Final CM Budget: \$8,000,000

Base Bids: \$7,984,857

Total Change Orders Added Scope: \$96,109

Percentage Change Orders: 1.2%

Final Costs Including Change Orders: \$8,080,966

CM Services Start Date: 11/2018

Construction Start Date: 9/2019

Project Completion Date: 10/2020



QUICK FACTS

- 17,665SF total building
- Work performed on occupied site/campus with adjacent elementary school
- Includes Carport and Sally Port

PROJECT DESCRIPTION

The New Police Building project consists of new construction of a single-story slab on grade building to house the Warrington Township Police Department. The construction included a sally port as well as a secure parking facility to house all police vehicles and private vehicles belonging to uniformed and civilian employees. The new building is located adjacent to the Warrington Township Administration building. The construction is occurring on an occupied campus between the current police emergency driveway access and an elementary school access path. Careful safety and logistics planning needed to occur to ensure the safety of all constituents.

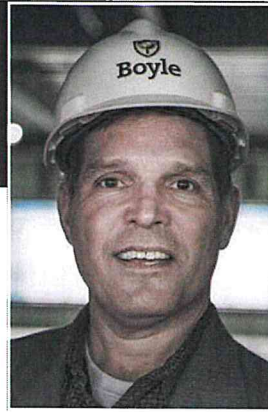




Boyle

CONSTRUCTION
MANAGEMENT

RESUMES



Tony M. Ganguzza, PE
Vice President of Professional Services

PROFESSIONAL EXPERIENCE

Tony brings over 33 years of civil engineering expertise to the Boyle Construction team. As Vice President of Professional Services, he provides preconstruction services and assists public and private clients in the land development process, from site selection and feasibility studies to civil engineering layouts. Tony is responsible for all civil engineering aspects of a project including client representation, engineering quality control, schedule, budget, preparing bid documents, business development, and client satisfaction.

For years, Tony was the Municipal Engineer for several Pennsylvania and New Jersey municipalities, working with municipal Planning, Zoning Hearing, Recreation, and Sewer Departments. He has also represented municipalities and counties on special public works projects, such as recreation, road construction, stormwater management, and water and sewer. Tony prepared public works design projects and bid specifications, assisted in contractor selection, performed construction observation, and oversaw contractor payment and project closeout. He has also represented several private developers in designing residential, commercial, and industrial projects. He prepares review letters for Subdivision and Land Development Plans under review.

TRAINING AND CONTINUING EDUCATION

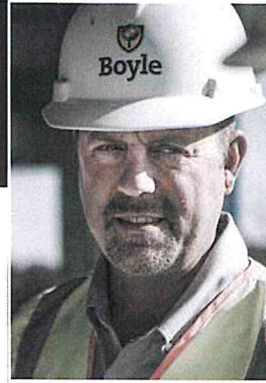
- BS in Civil Engineering, Widener University
- Leadership New Jersey
- PSMJ Resources, Inc. Project Manager & Boot Camp; Effective Communication; Presentation Skills; Effective Meetings
- New Jersey Certified Public Works Manager Courses
- Stormwater Management, E&S, NPDES and MS4 Workshops
- Professional Engineering Continuing Education
- Public Administration Continuing Education

“Tony Ganguzza conducted all of these efforts in such an effective manner that resulted in this project being completed ahead of schedule and significantly under budget.”

— Tamara Dolan, Former Executive Director

BOYLE CONSTRUCTION PROJECT EXPERIENCE

2023	Hatfield Township Police Station	Hatfield, PA	approx. \$10,000,000
2022	Carbon County 525 Iron Street Renovation	Lehighton, PA	\$2,000,000
2022	Carbon County Courthouse Renovation	Jim Thorpe, PA	\$7,000,000
2021	Carbon County Emergency Operations & Training Center	Jim Thorpe, PA	\$7,836,448
2021	Carbon County Administration renovations and addition	Jim Thorpe, PA	\$4,000,000
2020	Parkland Community Library Addition & Renovation	Allentown, PA	\$2,000,000
2020	City of Reading New Fire Station	Reading, PA	\$8,500,000
2019	South Whitehall Township Admin & Police Renovations	Allentown, PA	\$8,500,000
2019	Warrington Township New Police Station	Warrington, PA	\$8,000,000
2019	Upper Uwchlan Township Admin & Police Renovations	Eagle, PA	\$4,300,000
2018	Bristol Township Recreation Facilities	Bristol, PA	\$8,800,000
2018	Northampton Township New Police Station	Richboro, PA	\$7,200,000
2017	Chalfont Borough Municipal fit-out - OwWow Cow Creamery	Chalfont, PA	\$1,000,000
2017	Coatesville City Hall Renovations	Coatesville, PA	\$2,893,000
2017	East Vincent Township New Municipal Complex	East Vincent Township, PA	\$6,300,000
2017	New Street Parking Garage	Bethlehem, PA	\$15,285,600
2016	The Armory Residential & Commercial Development	Bethlehem, PA	\$15,285,600



PROFESSIONAL EXPERIENCE

Christian started with Boyle in 2013 as a Construction Project Manager. Before Boyle, Christian was the Partner/President of his own general construction firm for over 16 years. He managed all aspects of construction, including initial client contact, design input, estimating, accounting, bidding, and coordinating staff and subcontractors. Christian also worked for a general construction company as a Project Executive who managed six Project Managers for light and high commercial and residential projects. Throughout his career, Christian has gained in-depth experience in the construction industry, with projects ranging from schools, banks, retail spaces, apartments, restaurants, and commercial office buildings.

For Boyle, Christian’s duties include overall project management with responsibility for estimating, bidding, negotiating, and purchasing subcontracts; scheduling; conducting meetings from project inception through completion; punch lists; and project closeout.

Christian Donovan

Senior Project Manager

TRAINING AND CONTINUING EDUCATION

- BS in Hotel and Restaurant Management, East Stroudsburg University
- 30-Hour OSHA Safety Training

“Having a contractor who understands how to build consensus and control cost was essential and, time after time, Boyle delivered....Not only did they deliver practical efficiencies, but they delivered our project on time while keeping safety in the forefront at all times.”

— Larry Wiersch, MS, Cetronia Ambulance Corps.

BOYLE CONSTRUCTION PROJECT EXPERIENCE

2023	Hatfield Township Police Station	Hatfield, PA	approx. \$10,000,000
2022	Carbon County 525 Iron Street Renovation	Lehighton, PA	\$2,000,000
2022	Carbon County Courthouse Renovation	Jim Thorpe, PA	\$7,000,000
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2018	Bristol Township Recreation Facilities	Bristol, PA	\$8,800,000
2018	Northampton Township Police Station	Richboro, PA	\$7,200,000
2018	Coatesville City Hall Renovations	Coatesville, PA	\$2,893,000
2018	East Vincent Township New Municipal Complex	East Vincent Township, PA	\$6,300,000
2018	Upper Hanover Authority New Garage/Lab Building	East Greenville, PA	\$663,300
2017	Palmer Township Public Works Building	Palmer, PA	\$2,900,000
2016	Bristol Township Municipal Complex Site Work	Bristol, PA	\$1,300,000
2015	Bristol Township Administration Building Renovations	Bristol, PA	\$2,500,000
2014	Allentown Parking Authority Spiral Parking Deck Renovation	Allentown, PA	\$3,500,000
2014	Lehigh County Forensics Center	Allentown, PA	\$2,636,000

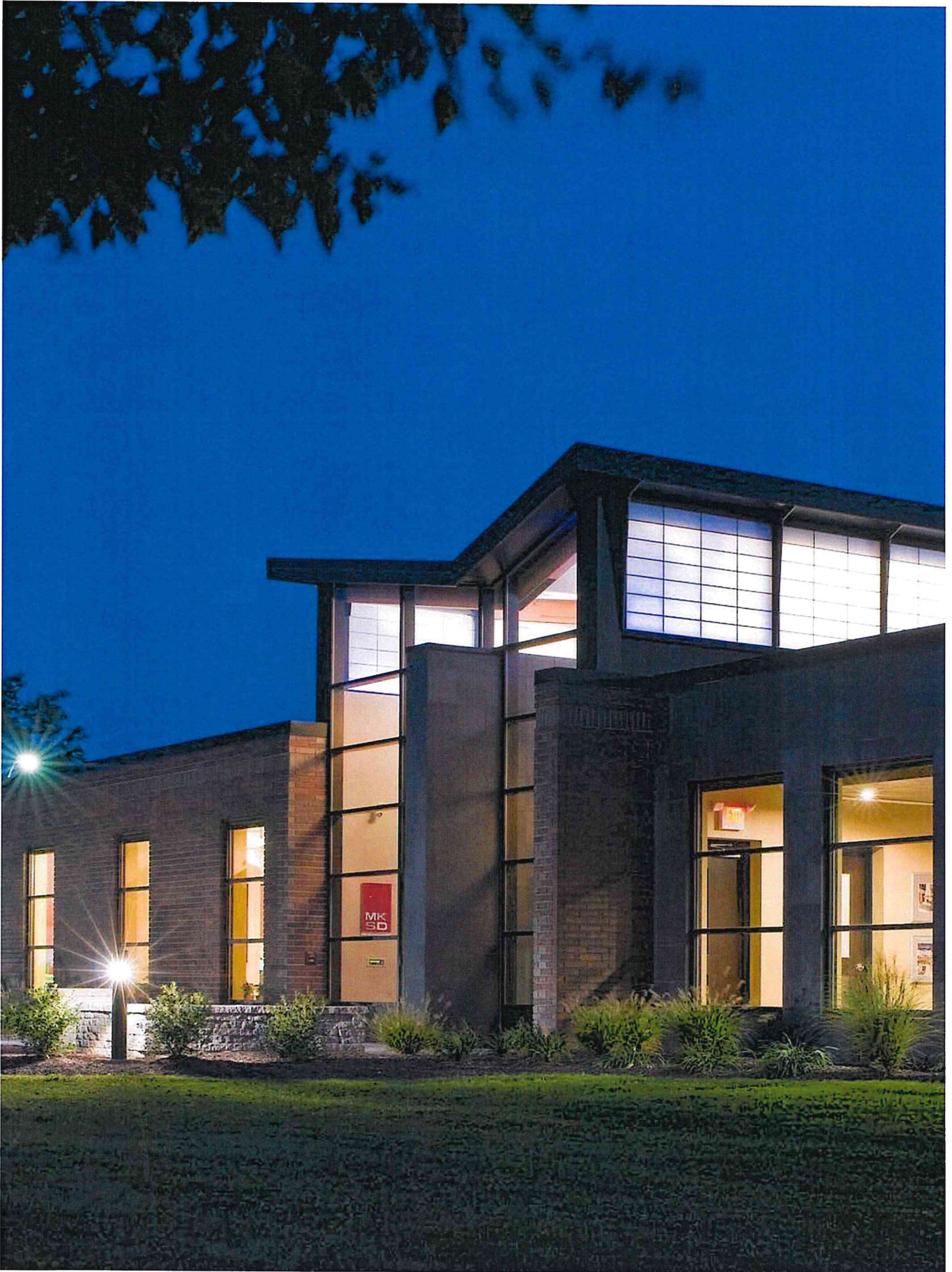


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architects



**FIRM
PROFILE**





Perseverance.
Fearlessness. Passion.
Honesty. Selflessness.
Progressive thinking.



**AS FORWARD-THINKING PROBLEM SOLVERS,
WE CREATE DYNAMIC, AWARD-WINNING
ARCHITECTURE THAT SERVES THE CLIENT,
WHILE KEEPING THE BIG IDEA ATTAINABLE.**

Successful building projects are a physical expression of collaboration between the owner and design team, driven by passion, experience and the creativity of everyone involved.

Our Partners believe in the shared purpose of elevating our clients' missions with a personal commitment to each project. As a team, we have built a creative culture where everyone is valued, included and empowered. As a testament to our belief in equality, we are a Women's Business Enterprise. Our values are translated to each client and imbedded in our projects with the purpose of enhancing life.

We believe in design for everyone.

Our client/architect partnerships are founded on mutual respect and honesty. Our practice creates meaningful projects, from transformative renovations to highly complex buildings. Each project's solution is tailored to the individual needs of our clients and encompasses all phases of planning, design and construction.

Together with our clients, we will continue to design inspiring places, thoughtfully woven into the fabric of our built environment.

SERVICES

- Architecture
- Space Planning
- Interior Design
- Historic Preservation
- Programming
- Master Planning
- Feasibility Studies
- Facility Assessment
- Project Management
- Green/Sustainable Design
- Construction Administration

MKSD PARTNERS

SILVIA HOFFMAN, AIA, LEED® AP ARCHITECT

TODD CHAMBERS, AIA ARCHITECT

JILL HEWES, AIA, LEED® AP ARCHITECT

JESSICA KLOCEK, AIA, LEED® AP BD +C ARCHITECT



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PROJECTS



WHITEHALL, PENNSYLVANIA

Coplay-Whitehall Sewer Authority Maintenance Facility

BUILDING DETAILS

SIZE: 10,000 SQ. FT.

EXISTING

10,000 SQ. FT.

ADDITION

RELEVANT TEAM MEMBERS

SILVIA HOFFMAN



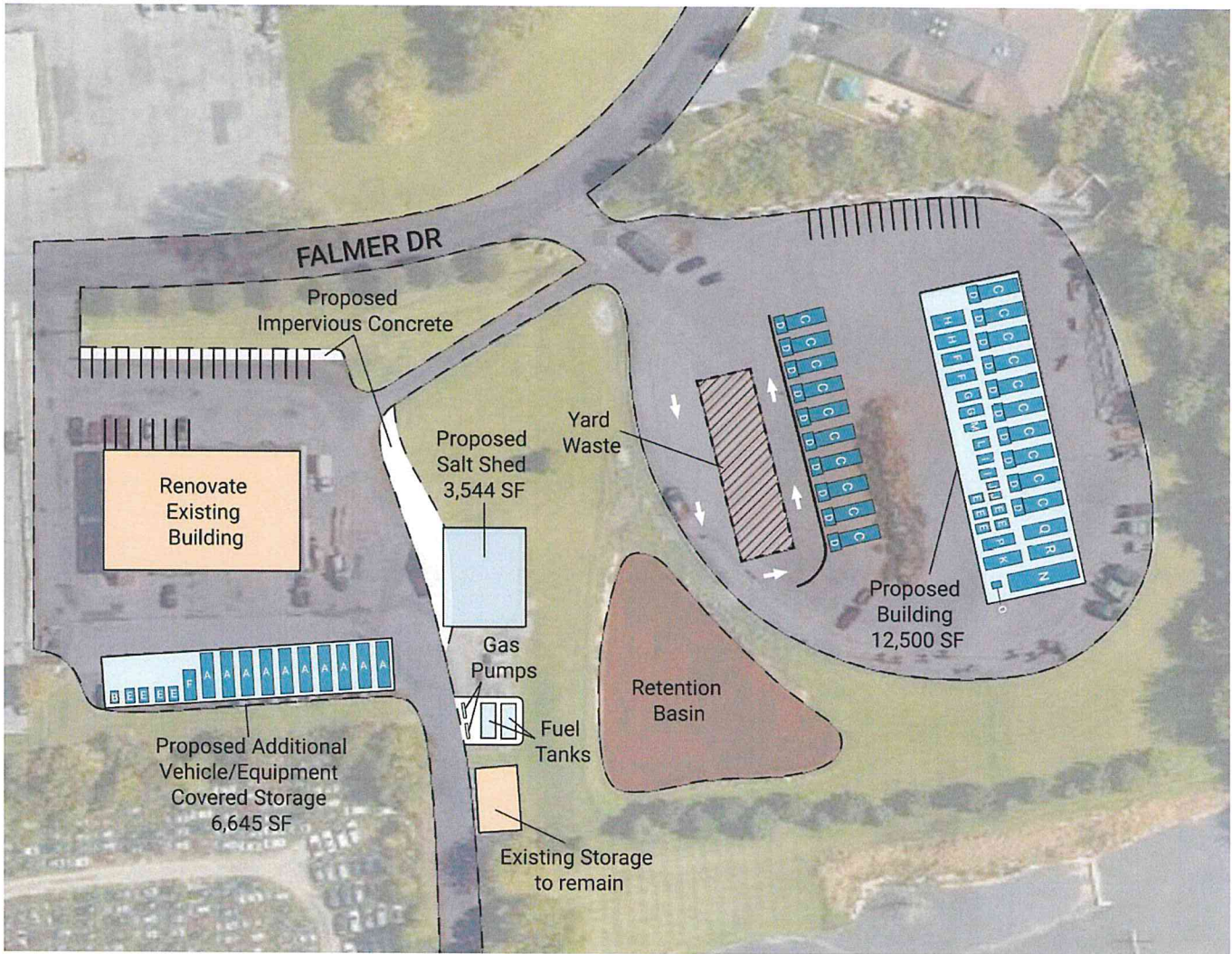
MKSD architects performed a feasibility study to investigate options for renovating and expanding the existing Coplay-Whitehall Sewer Authority Office & Maintenance Center. The study resulted in renovations for the existing 10,000 sf facility and an addition of 10,000 sf, doubling the building's size.

Our design reorganized the existing facility's floor plan to accommodate expanded office and customer service requirements. A new Board room, with a cherry veneer built-in table, was also part of the plan.

The new addition features a five-bay Maintenance & Vehicle Storage Garage. In addition to expanding the current vehicle facility, it now offers associated employee support spaces, such as a break room, locker rooms, and shower facilities.

- Board Room
- Administrative Offices
- Director Office
- Conference Room
- Five Bay Garage
- Locker Rooms/Toilet Rooms
- Break Room
- Upgrades for ADA and Code Compliance





BETHLEHEM, PENNSYLVANIA

Bethlehem Township Public Works Master Plan

BUILDING DETAILS

SIZE: 10,000 SF EXISTING
AND STORAGE SITE

RELEVANT TEAM MEMBERS

RYAN KENNEDY
JACK ROGERS
LAURA CLIFTON

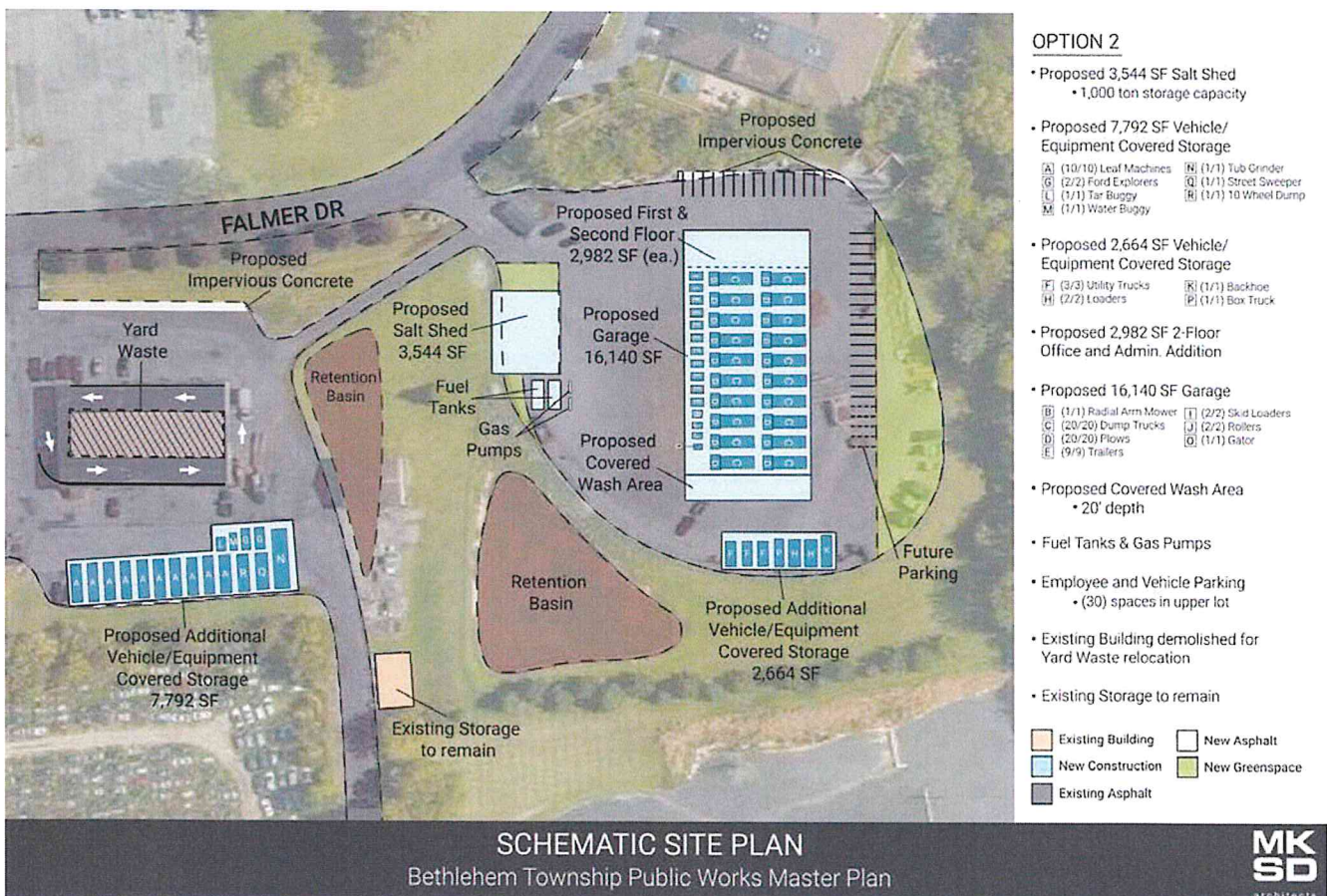
MKSD provided architectural and engineering planning services to complete a Master Plan for the Bethlehem Township Public Works. The project consisted of a study of the existing public works building, ancillary structures, and site. It also included the addition of a salt storage facility, a fueling station, as well as designating a footprint location of future facility expansion within the existing property location. The Master Plan provided a complete analysis of services, future services, and the expansion through the year 2042.

This Master Plan report was developed through the analysis of existing conditions, through in-person surveys, and input from various stakeholders from the Township through interviews. The interviews focused on assessing how the existing facility functions and what challenges are faced in operating an efficient, safe, and effective department. With this information in hand, MKSD and our engineering consultants, developed three conceptual master plan schemes and cost estimates for review with stakeholders.

The study included:

- Evaluation of the existing Public Works' facility and site.
- Recommendations related to building and site needs for the existing facility.
- Evaluation of three options on how to redevelop the public works department facility and site.

The final Master Plan included prepared drawings to document the existing conditions, review of Township zoning issues, results of meetings with stakeholders to determine needs, three potential options for site redevelopment, along with a rough order of magnitude cost estimate for each option. Research into various grant funding possibilities for offsetting costs associated with the three construction and renovation options for the Township Public Works facilities were also included.





BROADHEADSVILLE, PENNSYLVANIA

Chestnuthill Township New Emergency Operations Center

BUILDING DETAILS

**SIZE: 21,000 SF NEW
CONSTRUCTION**

COST: TBD

RELEVANT TEAM MEMBERS

RYAN KENNEDY

MKSD was hired by Chestnuthill Township to provide comprehensive design services for a new Chestnuthill Township Emergency Operations Center. The new building is designed to house WEFCO, West End Ambulance, Chestnuthill Township Emergency Operations Center and the possible addition of a police department.

The building will be constructed on a nearly 7-acre plot of land at the intersection of Route 715 and Firehouse Lane in Brodheadsville, PA. The building is approximately 21,000 sq. ft. and is designed to accommodate the needs for each organization, while keeping in mind any future expansion.

The design incorporates emergency vehicle flow with separate areas for fire and ambulance traffic. A proposed helipad is also part of the overall design.

This project is currently in the bidding phase and is projected to begin construction in June 2022.





DOYLESTOWN, PENNSYLVANIA

Doylestown Township Community Recreation Center

BUILDING DETAILS

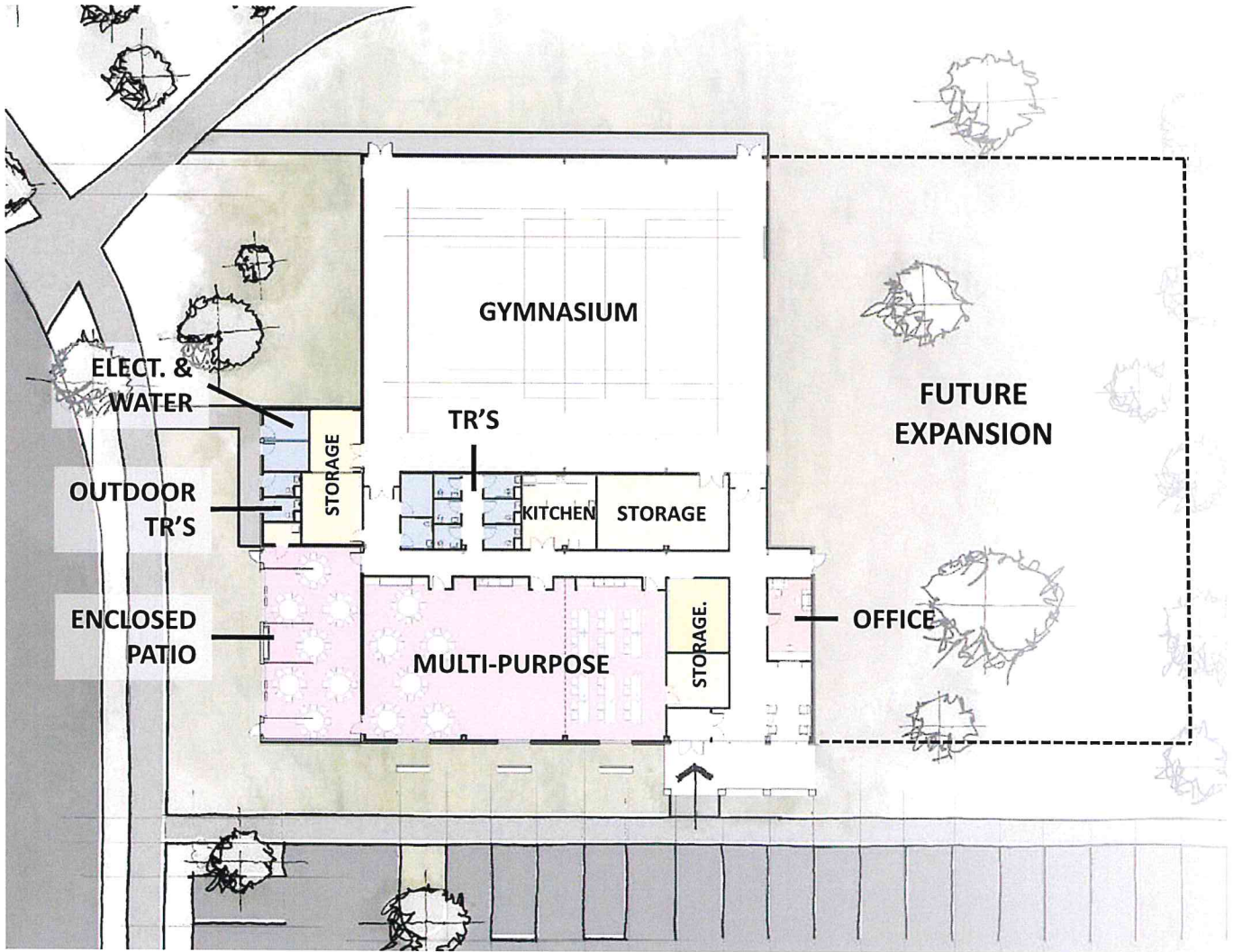
SIZE: 18,000 SQ. FT.

COST: \$7.5 MILLION

RELEVANT TEAM MEMBERS

SILVIA HOFFMAN

RYAN KENNEDY



MKSD was hired to do an extensive Feasibility Study for Doylestown Township's proposed new Community Recreation Center. There were two sites studied, interviews with township department stakeholders as well as community focus groups. The Doylestown Township Community Recreation Center is a multipurpose facility dedicated to community and wellness for the citizens of Doylestown Township. The building consists of a large multi-sport gymnasium, a large multipurpose room that can easily be divided into 3 rooms for flexibility with storage in each room and a prep kitchen. The building also features a partially enclosed 3-season room to be utilized for outdoor oriented functions and faces the community park.



MKSD Architects | Doylestown Township Community Rec Center



EASTON, PENNSYLVANIA

Easton Area Joint Sewer Authority New Administration Building

BUILDING DETAILS

SIZE: 7,200 SQ. FT.

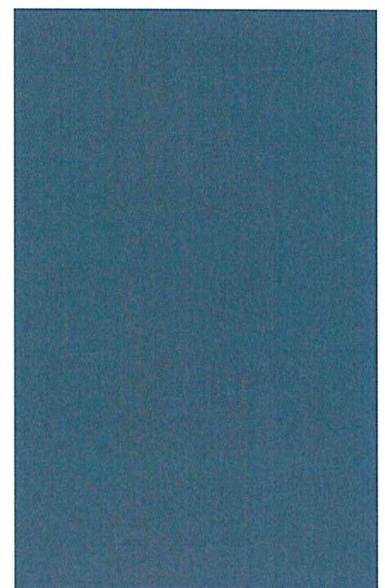
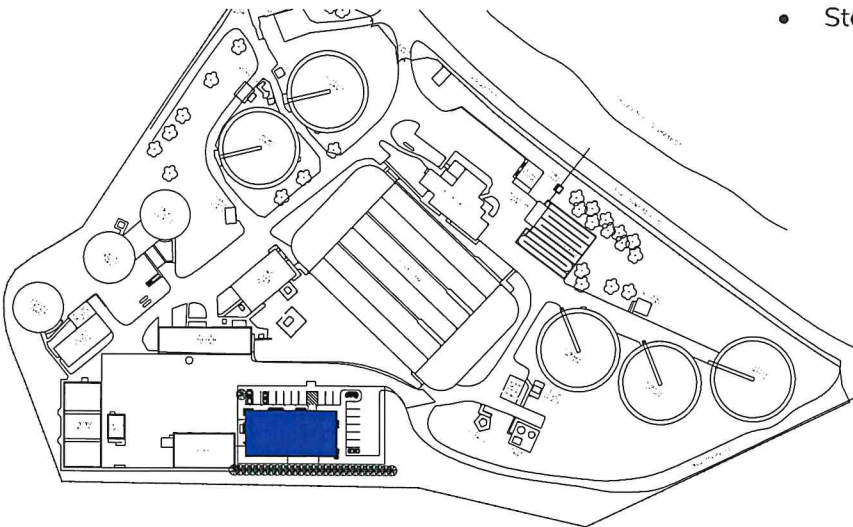
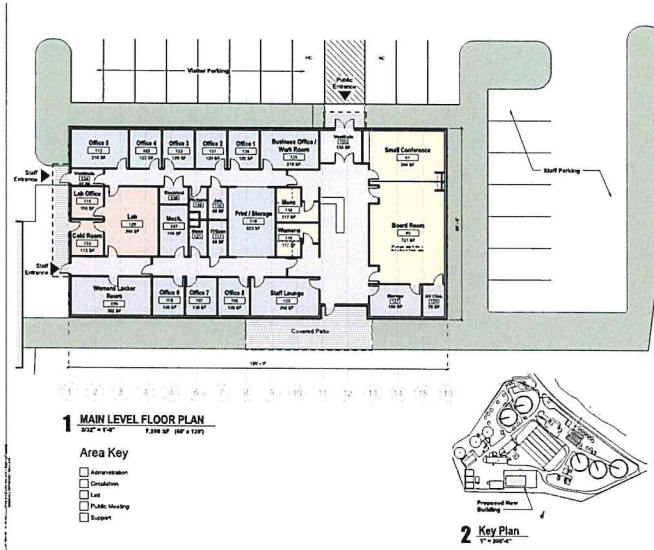
RELEVANT TEAM MEMBERS

RYAN KENNEDY

MKSD provided architectural planning services for the design and fitout of a single-story pole building to be used as the Administration Building for the Easton Area Joint Sewer Authority. This project is currently in bidding phase.

The design included:

- Lobby and Reception Areas;
- Work and Copier Room;
- Large Board Room;
- Small Conference Room;
- Administration Offices:
- Kitchenette and Break Room;
- Print Room;
- Lab (including specimen storage and office);
- Women's Locker Room;
- Storage and other support spaces.





EMMAUS, PENNSYLVANIA

Emmaus Police Station New Facility

BUILDING DETAILS

SIZE: 10,570 SF EXISTING



In recognizing the importance of shaping the physical, intellectual, and social environment in which Borough residents and administrators work, the Borough of Emmaus engaged in a process to establish a vision for its Borough Hall and its development over time. MKSD architects analyzed existing conditions, tabulated existing space utilization, projected future space needs, and develop a Master Plan for physical improvements to the existing building and site. The Master Plan was based on the Borough's identified needs and developed as a dynamic tool to be reviewed, refined, and updated over time. Its principles and guidelines articulate an enduring and timeless vision for the Borough of Emmaus.

As a result of the Master Plan, the Borough of Emmaus tasked MKSD with building a new 10,570 sf Police Station facility located on an adjacent block to the existing Borough Hall. The new Police Station's site placement also created a plaza to accommodate community events.

MKSD architects designed the building to USGBC LEED Green Building standards. The facility features green materials, high windows for natural light that saves on lighting/electric costs, an highly reflective roof, and a site location that allows natural light entry from the north side.





COPLAY, PENNSYLVANIA

North Whitehall Township Municipal Complex Capital Improvements Master Plan

BUILDING DETAILS

12,352 SF

RELEVANT TEAM MEMBERS

LAURA CLIFTON

MKSD is providing architectural services for a Capital Improvements Master Plan for North Whitehall Township that will guide the township's efforts to improve the municipal complex over the next 10 years.

The Capital Improvements Master Plan is being developed in three phases: the information gathering phase, the visioning phase, and the planning phase.

During the information gathering phase, MKSD documented existing conditions of all the various buildings at the municipal complex, met with representatives of North Whitehall Township to review the overall scope and details of the project and prepare architectural BIM modeling of the existing facilities.

The visioning phase includes meeting with the North Whitehall Township leadership and other staff members to review the existing conditions, determine challenges, wants, needs and vision for their departments' facilities.

The planning phase will take all the information gathered, and MKSD will develop a series of Master Plan options depicting potential areas of minor and major renovations as well as building additions.

The final Master Plan Report will consist of a comprehensive list of each item to be addressed over the next 10 years, including:

- Estimated cost
- Estimated duration
- Recommended priority
- Phasing precedents





ALLENTOWN, PENNSYLVANIA

South Whitehall Township Municipal Complex Renovation

BUILDING DETAILS

SIZE: 43,755 SF EXISTING

11,000 SF ADDITION

COST: \$8.3 MILLION

RELEVANT TEAM MEMBERS

RYAN KENNEDY

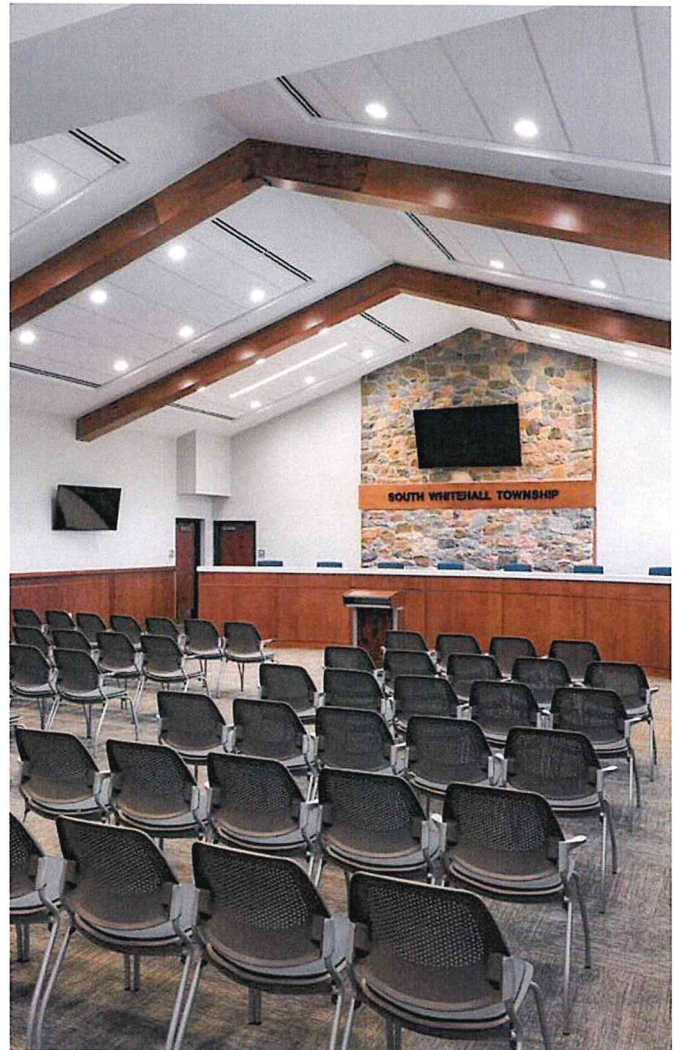
MKSD provided architectural planning services to complete a Master Plan of the South Whitehall Township Municipal Complex for the township to guide their efforts to improve over the next decade. The study resulted in the Township moving forward with the project.

This study included reviewing the existing facility conditions, meeting with current staff to review and understand the needs of the different departments, and proposing an option that included renovations and additions to the existing building. Additional options included the construction of new buildings on the existing campus.

The option selected by the Township was for an 11,000 sf addition and renovations to the existing buildings.

Facility Campus contains: Township Administration Offices, Community Development Offices, Finance Office, Public Works, Police, & Parks and Recreation.

The existing building is a 2-story building, The Lower Level is 32,595 Sq. ft. and the Upper Level is 11,160 sq. ft.





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RESUMES



SILVIA A. HOFFMAN, AIA
LEED® AP, NCARB
PARTNER + ARCHITECT

As a founding Partner of MKSD architects, Silvia is attributed with setting the high standard for the design work produced by MKSD. She works closely with MKSD's staff to ensure that the architectural ideas developed are thoughtful and creative while meeting the clients' needs.

Silvia's project involvement spans the length of the project, from early design concepts to handing the finished product to the client. She is committed to making each client feel as if he or she was MKSD's only client. Silvia is always looking for innovative ways to move the practice forward, and her commitment to client collaboration is a critical part of a successful project.

Education

North Carolina State University
Master of Architecture,
magna cum laude

Lehigh University
Bachelor of Arts in Architecture,
with honors, minor in
Urban Studies

Affiliations & Memberships

American Institute of Architects
(AIA)

USGBC LEED® 2.0 Accredited
Professional

American Institute of Architects,
Eastern Pennsylvania and
Pennsylvania Chapters

National Council of Architectural
Registration Board (NCARB)

Relevant Projects

**Doylestown Township Community
Center Feasibility Study & Design
Doylestown, PA**

Partner-in-Charge for feasibility
study and design of a new Park &
Recreation Community Center.

**Allentown Municipal
Golf Course Study
Allentown, PA**

Partner-in-Charge for feasibility
study for new clubhouse with
dining facility and golf course
rehabilitation.

**Silver Springs Township
Mechanicsburg, PA**

Partner-in-Charge for renovation
of two municipal facilities in order
to relocate all administration into
one building and Parks & Rec and
Police in the other building.

**Da Vinci Science Center
Allentown, PA**

Partner-in-Charge for design of
a new science center for hands-
on learning through discovery,
creating and innovating in
downtown Allentown.

**Sharp Corporation/United Drug
Allentown, PA**

Partner-in-Charge for the campus
master plan, building addition and
phasing study as well as several
renovations.

**Northampton Community College
Tannersville, PA**

Partner-in-Charge to design the
new Monroe County Campus
in Tannersville within Pocono
Township. The Monroe Campus
features 3 buildings. The new
Monroe Campus is a "green"
campus with the buildings being
certified LEED GOLD.





**RYAN KENNEDY, AIA, CSI,
LEED AP
DIRECTOR OF PROJECT MANAGEMENT**

As a Pennsylvania registered architect and Director of Project Management for MKSD, Ryan has experience in translating design teams project solutions into value based construction documents, preparing project estimates / schedules, implementing code and ADA compliance, and coordinating the efforts of the MKSD in-house team with civil, structural, mechanical, plumbing, fire protection and electrical engineer design disciplines.

Ryan has experience overseeing all aspects and phases of projects from pre-design through construction administration for both new construction and renovations. Ryan's expertise is in project management and he excels at keeping the team working together diligently toward the common goal.

Education

Bachelor of Architecture, magna cum laude, Virginia Polytechnic Institute and State University

Center for European Studies and Architecture, Switzerland

Affiliations & Memberships

American Institute of Architects (AIA)

American Institute of Architects, Eastern Pennsylvania and Pennsylvania Chapters (Past President)

National Council of Architectural Registration Board (NCARB)

USGBC LEED® Accredited Professional

Relevant Projects

**Doylestown Township Community Center
Doylestown, PA**

Project Manager for the study and design of a new community recreation center to serve the Township of Doylestown.

**Bethlehem Township Master Plan
Bethlehem, PA**

Project Manager for the development of a Public Works Master Plan for the Township.

**Chestnuthill Township Emergency Services Building
Brodheadsville, PA**

Project Manager for the design of the new Emergency Services building that will house WEFCO, West End Ambulance and Emergency Operations Center.

**South Whitehall Township Municipal Complex Study, Renovation & Addition
Allentown, PA**

Project Manager for the renovation and addition of the municipal complex which includes Township Administration offices, Public Works, Police and Parks & recreation departments.

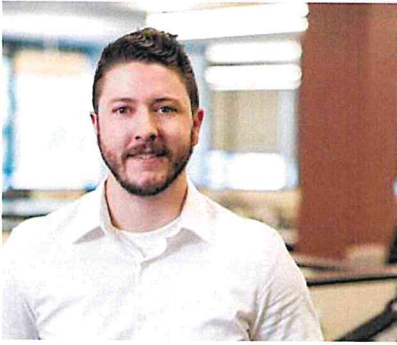
**ArtsQuest Cultural Arts Center
Bethlehem, PA**

Project Manager for the design of a new art and cultural arts center located in the south side historic district.

**First Commonwealth Federal Credit Union
Allentown, PA**

Project manager for the design of new corporate headquarters shell building and fitout.





JACK ROGERS
PROJECT DESIGNER &
CONSTRUCTION
ADMINISTRATION



Jack is a critical component of MKSD Design Team. He assists the Project Architect in all aspects of organizing and creating the drawings and documents for many project types—renovations and new construction.

Jack specializes in a project's technical aspects, and he assists our Architects in translating designs and ideas into concise sets of construction details and documents. Jack also coordinates the various engineering disciplines into the construction documents and details.

Education

Associate Degree, Architecture
Northampton Community College

Bachelor of Architecture,
Philadelphia University

Affiliations & Memberships

American Institute of Architects
Eastern Pennsylvania



LAURA CLIFTON
INTERIOR DESIGNER



Laura brings a fresh perspective to every design. Her background in interior design and historic preservation, coupled with her commitment to providing unique outcomes, help to provide innovative and functional design solutions.

Laura specializes in a project's interior design, and how these details bring a space to life. She is skilled at problem solving and she assists the project team in all phases of the interior renovation projects.

Education

Bachelor of Fine Arts, Interior
Architecture
University of North Carolina

Graduate Certificate, Historic
Preservation
University of North Carolina

Affiliations & Memberships

American Institute of Architects
Eastern Pennsylvania



1209 Hausman Road, Suite B
Allentown, PA 18104-9300
(484)223-0726

**LOWER SALFORD TOWNSHIP
RESOLUTION NO. 2023-14**

**A RESOLUTION OF LOWER SALFORD TOWNSHIP,
COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA,
APPROVING THE TRANSFER OF RESTAURANT LIQUOR LICENSE
R-19099 INTO LOWER SALFORD TOWNSHIP FROM THE
MUNICIPALITY OF LAFAYETTE HILL, MONTGOMERY COUNTY,
PENNSYLVANIA**

WHEREAS, Act 141 of 2000 (“the Act”), which amends the Commonwealth’s Liquor Code, authorizes the Pennsylvania Liquor Control Board to approve, in certain instances, the transfer of Restaurant Liquor Licenses across municipal boundaries within the same county regardless of quota limitations provided for in Section 461 of the Liquor Code, if sales of liquor and malt or brewed beverages are legal in the municipality receiving the license; and

WHEREAS, amendments to the Liquor Code stipulate that prior to adoption of a resolution by the receiving municipality, at least one public hearing must be held for the purpose of receiving comments and recommendations from interested individuals residing within the municipality concerning the applicant’s intent to transfer a liquor license into the municipality; and

WHEREAS, following the public hearing, the receiving municipality must issue a Resolution either approving or denying the application to transfer the license into the municipality; and

WHEREAS, an application for transfer filed under the Act must contain a copy of a resolution adopted by the municipality approving the transfer of a restaurant liquor license into the receiving municipality; and

WHEREAS, proper notice of the public hearing held on this date was published as required.

WHEREAS, Henning’s Super Market, Inc., has requested the approval of the Lower Salford Township Board of Supervisors for the proposed transfer of Pennsylvania Restaurant Liquor License R-19099 from the current licensee, IAT, Inc., d/b/a The Lucky Dog Saloon and Grille, with a business address of 412 Germantown Pike, Lafayette Hill, Whitemarsh Township, Pennsylvania, 19444, to Henning’s Super Market, Inc., at its facilities within the Township of Lower Salford, located at 290 Main Street, with the

understanding that said transfer must be approved at a later date by the Pennsylvania Liquor Control Board; and

NOW, THEREFORE, BE IT RESOLVED, that based on the Application and the testimony at the duly advertised public hearing held on April 5, 2023, the Board of Supervisors of the Township of Lower Salford finds, and hereby resolves, that the transfer of Restaurant Liquor License No. R-19099 from the current licensee, IAT, Inc., d/b/a The Lucky Dog Saloon and Grille, with a business address of 412 Germantown Pike, Lafayette Hill, Whitmarsh Township, Pennsylvania, 19444, to Henning's Super Market, Inc., at its facilities within the Lower Salford Township, located at 290 Main Street, will not adversely affect the welfare, health, peace and morals of the Township or its residents; and

BE IT FURTHER RESOLVED, that the application of Henning's Super Market, Inc. for the inter-municipal transfer of Restaurant Liquor License R-19099 into Lower Salford Township is hereby **APPROVED**.

I HEREBY CERTIFY that this Resolution was adopted by Lower Salford Township at its public meeting held on the 5th day of April, 2023.

ATTEST:

LOWER SALFORD TOWNSHIP

Joseph S. Czajkowski
Township Secretary

Keith A. Bergman, Chairman,
Board of Supervisors

**LOWER SALFORD TOWNSHIP
BOARD OF SUPERVISORS**

MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

RESOLUTION NO. 2023-13

PRELIMINARY / FINAL LAND DEVELOPMENT APPROVAL

Velocity Venture Partners, LLC – 355 Maple Avenue

WHEREAS, VELOCITY VENTURE PARTNERS, LLC (“Developer”) is the developer of a certain tract of land consisting of approximately 48.78± acres located at 355 Maple Avenue in Lower Salford Township, Montgomery County, Pennsylvania, and which tract is more particularly identified as Montgomery County Tax Parcel No. 50-00-02419-00-6 (the “Property”); and

WHEREAS, the Property currently contains a non-residential building and associated parking, commonly known as the Harleysville/Nationwide Insurance building, with access from Harleysville Pike (SR 113), Maple Avenue and Oak Drive; and

WHEREAS, Developer proposes to construct an addition to the existing building, seven (7) new loading areas and a truck back-up turn-around area on the Property, which includes the removal of existing parking and landscape islands to accommodate truck-turning movements, and the removal of the existing central access to the Property from Oak Drive, in connection with the redevelopment of the Property (the “Development”); and

WHEREAS, the Development is more particularly shown on plans prepared by Bohler Engineering, being plans consisting of twenty (20) sheets dated October 31, 2022, bearing a last revision date of March 6, 2023 (the “Plans”); and

WHEREAS, Developer has previously obtained and supplied or will obtain and supply to the Township all applicable permits from all Authorities, Agencies and Municipalities having jurisdiction in any way over the Development and any necessary offsite easements to legally discharge stormwater or connect to utilities; and

WHEREAS, the Developer desires to obtain preliminary/final land development approval of the Plans from Lower Salford Township in accordance with Section 508 of the Pennsylvania Municipalities Planning Code.

NOW, THEREFORE, BE IT RESOLVED that Lower Salford Township hereby grants preliminary/final approval of the land development shown on the Plans described herein, subject, however, to the following:

1. At this time, the Lower Salford Township Board of Supervisors waives strict compliance with the following provisions of the Lower Salford Township Subdivision and Land Development Ordinance:

a. Sections 142-12.B, 142-12.C and 142-18.F, requiring the separate submission of a Preliminary Plan and a Final Plan for all land development proposals. A waiver is granted to permit the submission of a combined Preliminary/Final Plan.

b. Section 142-41, requiring the installation of storm sewers, curbing, and sidewalks/paths along each of the Property's frontages. A partial waiver is granted for the installation of sidewalks along each of the Property's frontages. In lieu of the required sidewalks, Developer shall install a bituminous trail (8' width minimum) and associated ADA compliant concrete curb ramps on the Property in the location and in accordance with the specifications identified on the plan prepared by Bohler Engineering, entitled "Pedestrian Connection for Future Connection", dated March 27, 2023, a true and correct copy of which is attached hereto as Exhibit "A" (the "Trail Plan"). The Trail Plan shall be subject to review and approval by the Township

Engineer and Township Traffic Consultant, and the Developer agrees to revise the Trail Plan to resolve any comments received from the Township Engineer and Township Traffic Consultant during their review. The improvements required by the Trail Plan shall be installed within a time period to be set forth in the Land Development and Financial Security Agreement (“Land Development Agreement”) required by Paragraph 6 of this Resolution, and financial security shall be posted to secure the completion of such improvements as more particularly set forth the Land Development Agreement. Developer shall provide a trail easement to the Township for any portion of the trail located outside the legal right-of-way. Any required trail easement shall be satisfactory to the Township Solicitor and recorded with the Office of the Recorder of Deeds for Montgomery County, Pennsylvania.

2. At this time, the Lower Salford Township Board of Supervisors waives strict compliance with the following requirements of the Lower Salford Township Engineering Standards (“LSTES”):

a. LSTES 107.2.D, requiring a minimum internal diameter of 18 inches for storm sewer pipe. A waiver is granted to allow a minimum internal diameter of 6, 12 and 15 inches for certain storm sewer pipe as shown on the Plans, in consideration of the existing and proposed stormwater flow on the Property, the use of trench drains, and the proposed tie-in to an existing 15 inch storm sewer pipe.

b. LSTES 107.6.A, requiring all storm pipe to be Reinforced Concrete Pipe (RCP). A waiver is granted to allow all proposed storm pipe within the Property to be High-density Polyethylene (HDPE).

3. At this time, the installation of storm sewers, road widening, and curbing along each of the Property’s frontages (Harleysville Pike (SR 113), Maple Avenue and Oak Drive) in accordance with Section 142-28 and 142-41 of the Lower Salford Township Subdivision and

Land Development Ordinance shall be deferred until such time as the Township deems it necessary to require the installation of storm sewers, road widening, and curbing. Developer shall add a note to the Plans stating that the required installation of storm sewers, road widening and curbing has been deferred until such time as the Township deems it necessary to require the installation of the same. The language of the note shall be reviewed and approved by the Township Engineer and Township Solicitor prior to the recording of the Plans.

4. Prior to the recording of the Plans, the Developer shall revise the Plans to resolve to the satisfaction of the Township, all issues set forth in the Township Engineer's review letter dated March 31, 2023, the entire contents of which are incorporated herein by reference and a true and correct copy of which is attached hereto as Exhibit "B".

5. Prior to the recording of the Plans, the Developer shall revise the Plans to resolve to the satisfaction of the Township, all issues but for those pertaining to the Trail Plan, set forth in the Township Traffic Consultant's review letter dated March 30, 2023, the entire contents of which are incorporated herein by reference and a true and correct copy of which is attached hereto as Exhibit "C". The revisions relative to the Trail Plan, the timing of construction as well as the performance escrow shall be detailed in the Land Development Agreement pursuant to the provisions in paragraph 1.b. above.

6. Prior to recording the Plans, Developer shall enter into the Land Development Agreement with Lower Salford Township. The Land Development Agreement shall be satisfactory to the Township Solicitor and the Developer shall obligate itself to complete all of the public improvements shown on the Plans in accordance with Township criteria and specifications as well as to secure the completion of the said public improvements by posting satisfactory financial security as required by the Pennsylvania Municipalities Planning Code.

7. Although the maintenance of all stormwater collection, detention and conveyance facilities shall be the responsibility of owner of the Property, its successors and assigns, prior to the recording of the Plans, Developer shall provide the Township with a declaration executed by the owner of the Property to reserve easements in favor of the Township so that the stormwater facilities on the Property may be maintained by the Township (with all expenses charged to the Property owner) in the event that the maintenance responsibilities of the Property owner for the stormwater facilities are not fulfilled after reasonable notice to do so. The terms and conditions of the declaration shall be satisfactory to the Township Solicitor, and the declaration shall be recorded simultaneously with the Plans.

8. Prior to recording the Plans, Developer shall revise its traffic evaluation as required by the Township Traffic Consultant so that so that a determination can be made regarding the amount of any traffic impact fee required by the Lower Salford Township Traffic Impact Fee Ordinance. Any required fee shall be paid by the Developer prior to the issuance of a building permit.

9. Prior to recording the Plans, Developer shall provide the Township with all required approvals from any outside agencies having jurisdiction over the Development, including, but not limited to: the Montgomery County Conservation District, the Pennsylvania Department of Environmental Protection, PennDOT, North Penn Water Authority and the Lower Salford Township Authority.

10. The Development shall be constructed in strict accordance with the content of the Plans, notes on the Plans and the terms and conditions of this Preliminary/Final Approval Resolution.

11. The cost of accomplishing, satisfying and meeting all of the terms and conditions and requirements of the Plans, notes to the Plans and this Preliminary/Final Approval Resolution shall be borne entirely by Developer and shall be at no cost to the Township.

12. Prior to the start of construction, Developer shall notify the Township Manager and the Township Engineer and schedule a preconstruction meeting with the Township. Developer shall provide the Township Manager and the Township Engineer with at least seventy-two (72) hours notice prior to the initiation of any grading or ground clearing (regardless of whether such grading or ground clearing is for the construction of private or public improvements) so that the Township may certify that all appropriate erosion and sedimentation control facilities have been properly installed and also that snow fencing or other types of boundary markers (acceptable to the Township) have been installed to protect such trees as are specifically proposed not to be eliminated during the construction of the Development.

13. Consistent with Section 509(b) of the Pennsylvania Municipalities Planning Code (as amended), the payment of all applicable fees and the funding of all escrows under the Land Development Agreement must be accomplished within ninety (90) days of the date of this Resolution, unless a written extension is granted by Lower Salford Township. Until the applicable fees have been paid and the escrows fully funded, the final plat or record plan shall not be signed or recorded. In the event that the fees have not been paid and the escrow has not been funded within ninety (90) days of this Resolution (or any written extension thereof), this contingent preliminary/final approval shall expire and be deemed to have been revoked.

14. Under the provisions of the Pennsylvania Municipalities Planning Code, the Developer has the right to accept or reject conditions imposed by the Board of Supervisors upon preliminary/final approval. In the absence of an appeal or a notice of rejection filed in writing within thirty (30) days from the date of this Resolution, the conditions set forth herein shall be

deemed to have been accepted by Developer. If the Township receives written notice of an appeal or rejection of any of the conditions set forth herein within thirty (30) days from the date of this Resolution, this approval and the waivers granted in Paragraphs 1 and 2 and deferrals granted in Paragraph 3 (which waivers and deferrals are granted contingent upon the acceptance of the conditions set forth herein) shall be deemed to be automatically rescinded and revoked and the application shall be considered denied based upon the failure to fully comply with all of the sections set forth in Paragraphs 1, 2 and 3 and the conditions set forth above, all as authorized by Section 508 of the Pennsylvania Municipalities Planning Code.

APPROVED at the public meeting of the Lower Salford Township Board of Supervisors held on April 5, 2023.

LOWER SALFORD TOWNSHIP

By: _____
Keith A. Bergman, Chairman,
Board of Supervisors

Attest: _____
Joseph S. Czajkowski, Secretary

TRAIL IMPROVEMENT PLAN

EXHIBIT "A"

TOWNSHIP ENGINEER REVIEW LETTER

EXHIBIT "B"



4259 W. Swamp Road
Suite 410
Doylestown, PA 18902

www.cksenineers.com
215 340 0600

March 31, 2023
Ref: #4601-073

Lower Salford Township
379 Main St.
Harleysville, PA 19438

Attention: Michael Beuke, Director of Building and Zoning

Reference: Velocity Venture Partners, LLC - Proposed Redevelopment
355 Maple Avenue - Tax Parcel No. 50-00-02419-00-6
Preliminary/Final Land Development, Second Review

Dear Mike:

We have received the Preliminary/Final Plans and Stormwater Management Conveyance Calculations (19 pages) pertaining to the Velocity Venture Partners development that were forwarded to our office for review. The plans consist of 20 sheets. Both the calculations and the plans were prepared by Bohler Engineering and are dated October 31, 2022. The plans were last revised March 6, 2023, and the calculations were last revised February 16, 2023. Also included for review is a Preliminary Traffic Evaluation prepared by Traffic Planning and Design, Inc. (TPD), dated November 9, 2022.

The project is located within the AO - Administrative Office Zoning District. The 48.78-acre lot currently contains a 248,890 s.f. non-residential building and associated parking with accesses from Harleysville Pike (SR 113), Maple Avenue, and Oak Drive. The plans propose the construction of seven new loading areas, a truck back-up turn-around area, the removal of one driveway access from Oak Drive, and the removal of existing parking and landscape islands to accommodate truck turning movements as part of the redevelopment of the previous Harleysville/Nationwide Insurance building. A new stormwater conveyance system is proposed, but no new stormwater management facilities are to be constructed.

As per your request, we have reviewed the revised Preliminary/Final Plans submitted for the proposed development and offer the following comments for consideration by Township Officials.

I. **ZONING ISSUES**

The following comments are based upon the provisions of the Lower Salford Township Zoning Ordinance:

1. Sheet 5 (C-301) notes an "office" use for the site. The plan should be revised to state the specific uses planned for the development. We note that the Preliminary Traffic Evaluation from TPD shows the following uses:
 - a. 59,800 s.f. of Manufacturing - "Assembly and Light Manufacturing" is permitted by-right in the AO Zoning District. (164-62.2.H and 164-5)
 - b. 23,900 s.f. of Warehousing - Warehousing is only permitted in the AO Zoning District as an accessory use to Assembly and Light Manufacturing, Life Sciences, Technology and Engineering, and Microbrewery uses. (164-62.4.H)
 - c. 35,892 s.f. of Office – We note that offices for administrative, executive and/or professional purposes are permitted by-right in the AO Zoning District. (164-62.2.A)
2. Warehousing uses may not comprise more than 30% of the total square footage of the primary use. The applicant must clarify the intended primary use of the facility. If areas in the TPD traffic evaluation are used, the area dedicated to warehousing will be approximately 40% of the manufacturing use area. (164-62.4.H.2)
3. The required building setback line shown from the Main Street ultimate right-of-way should be revised to 200 feet.

II. SUBDIVISION AND LAND DEVELOPMENT ISSUES

The following comments are based upon the requirements of the Lower Salford Township Subdivision and Land Development Ordinance:

1. We note that the property owner listed on the plans does not match the party listed in the submitted deed, Instrument No 2022101314. (142-15.B.2)
2. The land uses of immediately adjacent lands must be listed on the Site Plan. While adjacent property owners were added to Sheet 4 (C-300), some appear to be inconsistent with Montgomery County parcel records. (142-15.B.10)
3. The rights-of-way and cartway widths of all streets bordering the parcel must be listed on the plans, including the narrower width along Oak Drive. (142-15.C.1 and 142.29.E)
4. It appears that the existing 15-inch RCP flows under the existing building. The outlet of the existing 15-inch diameter pipe must be shown on the Existing Features Plan and Utility Plan. (142-15.C.4 and 1422-15.D.2.c)
5. The plans should show the existing sanitary lateral and water service to the building. (142-15.C.15.9)
6. The street tie-in to the nearest intersection must be shown on Sheets 3 through 5. (142-15.D.1.a.7)

7. Signature certification blocks on Sheet 1 (C-101) shall be to the satisfaction of the Township Solicitor. (142-17.C)
8. It can't be determined if an accessible parking space is being removed with this development. Any accessible space that is removed should be replaced and shown on the plans. We recommend one van-accessible space be provided in the 16-space lot by the truck entrance. (142-35.A.5.b)
9. Truck turning templates are now provided on the plans. Based upon the submitted templates, we recommend signage be posted indicating "No Trucks Over 40 Feet in Length" for the section of driveway east of the four berth loading area. We defer to the Township Traffic Engineer for further evaluation. (142-35.B.2)
10. A mature tree can only be considered preserved only if it meets the following criteria: (142-42.B(1)(c))
 - a. The outermost branches are at least 5 feet from buildings, paving, structures, parking, utilities, and proposed changes in grade or drainage such as excavations, mounding or impoundments.
 - b. The trunks are at least 20 feet from any proposed buildings, structures, paving, parking, utilities, and proposed changes in grade or drainage such as excavations, mounding or impoundments.

Per the above, the 16 inch oak tree west of the driveway to be eliminated should not be considered as preserved. Replacement tree calculations shall be revised within the Compliance Chart on Sheet 17 (C-703) and additional trees provided. (142-42.C)

11. The following waivers from the Lower Salford Township Subdivision and Land Development Ordinance are listed on Sheet 1 (C-101) and within a Waiver Request letter dated March 9, 2023 (142-15.B.20 & 142-27):
 - a. Section 142-18.F, to allow submission of a concurrent preliminary/final plan.

The applicant states due to the complexity of the project, it is not anticipated that the proposed use will require separate review of preliminary and final plans.
 - b. Section 142-41, which requires the installation of sidewalks, curbs, and storm sewers along all existing public streets. The applicant requests a partial waiver. No new curb or storm sewer is proposed within the right-of-way. A bituminous trail is proposed from the driveway along Maple Avenue to the western driveway on Oak Drive.

We note a trail plan exhibit was submitted by the applicant's attorney. A blanket easement over the new trail should be supplied for the trail outside the right-of-way.

- c. LSTES Section 107.2.D which requires storm water piping to be a minimum diameter of 18 inches.

None of the proposed stormwater pipes are within Township-owned right-of-way and are within the site. The new collection system ties in to an existing 15-inch pipe. Upstream piping is proposed to be either 6 or 12-inch diameter.

- d. LSTES Section 107.6.A which requires stormwater conveyance piping to be constructed of reinforced concrete material; the plans propose the use of High Density Polyethylene (HDPE) piping.

We take no exception to this request as all proposed piping will be privately owned and maintained. The ordinance section should be corrected.

III. STORMWATER MANAGEMENT, GRADING, AND EROSION CONTROL

The following comments pertain to stormwater management, storm drainage, grading, and erosion and sedimentation control aspects of the current plan submission and are based upon the requirements of the Subdivision and Land Development Ordinance (SALDO), the Stormwater Management Ordinance (S.M.O) as referenced in Article IX of the SALDO, and the Lower Salford Township Engineering Standards (LSTES). The project is located within the East Branch Perkiomen watershed.

1. A Blanket Easement will be required to allow for inspection of the stormwater facilities by Township officials.
2. Per the snout detail on Sheet 20 (C-901), a minimum 36 inch sump depth is required below the outlet pipe invert. Upon clarification of where snouts will be installed, compliance with the manufacturer's sump requirements must be demonstrated on the Utility Plan, Sheet 9 (C-501).
3. Plans note that invert B from a 12 inch RCP pipe to the existing inlet is damaged. The applicant should determine if repair is acceptable or if replacement is warranted.
4. Once the limits of disturbance have been finalized, the limits of the protection fencing should be added to the Erosion and Sedimentation Control Plan and a Tree Protection Fence installation detail shall be provided. (142.42.B. and 142.46)

IV. GENERAL

The following items are general engineering considerations pertaining to the project that were noted by our office during the course of review of the current plan submission:

1. Signed and sealed design drawings and calculations prepared by a professional engineer licensed in the Commonwealth of Pennsylvania must be submitted to the

Township for review and approval prior the construction of retaining walls. A note indicating this requirement should be placed on the record plans.

2. We recommend that a means of fall protection be installed along the retaining walls at points where the vertical elevation change exceeds thirty inches.
3. Approval from the Township Fire Marshal is required.
4. Approval from the Township Traffic Engineer is required.

Very truly yours,
CKS ENGINEERS
Township Engineers


Michele A. Fountain, P.E.

MAF/klk

cc: Board of Supervisors (5) (via email)
Joseph S. Czajkowski, Township Manager (via email)
LST Staff (3) (via email)
James Garrity, Esquire, Township Solicitor (via email)
Andrew Freimuth, Esquire, Township Solicitor (via email)
LSTA (3) (via email)
Stephanie Butler, McMahon Associates, Inc. (via email)
Claire Warner, MCPC (via email)
Velocity Venture Partners, LLC, Applicant (via email)
Free Range Harleysville, LLC, Property Owner
Bohler Engineering (via email)
John Evarts, CKS Engineers, Inc.
File

TOWNSHIP TRAFFIC CONSULTANT REVIEW LETTER

EXHIBIT "C"



March 30, 2023

Joseph S. Czajkowski, Township Manager
Lower Salford Township
379 Main Street
Harleysville, PA 19438

RE: 355 Maple Avenue – Preliminary/Final Land Development Review #2
Lower Salford Township, Montgomery County, PA
McMahon Project No. 822569.21

Dear Joe:

Per your request, McMahon, a Bowman company (McMahon), has completed a traffic engineering review related to the Preliminary/Final Land Development Plans provided for the redevelopment of 355 Maple Avenue, which has been vacant for multiple years. It is our understanding that the existing building will be redeveloped consistent with the recent amendments to the Administrative Office (AO) Zoning District within the Township. According to the Preliminary Land Development Plans, the site would be redeveloped. With the planned redevelopment of the building, seven additional loading bays and modifications to existing parking stalls and drive aisles are proposed for the site. Access to the site is currently provided via one full-movement access along Harleysville Pike (SR 0113), two full-movement accesses along Maple Avenue (Twp), and two full-movement accesses and one right-in/right-out access along Oak Drive. The existing central access along Oak Drive is proposed to be removed with the redevelopment of the site.

The following document was reviewed as part of the submission:

- [Preliminary Land Development Plans for Velocity Venture Partners, LLC \(20 Sheets\)](#), prepared by Bohler Engineering PA, LLC, last revised March 6, 2023.
- [Response to Comments Letter](#), prepared by Bohler Engineering PA, LLC, dated March 9, 2023.
- [Waiver Request Letter](#), prepared by Bohler Engineering PA, LLC, dated March 9, 2023.
- [355 Maple Avenue – Traffic Evaluation](#), prepared by Traffic Planning and Design, Inc., dated November 9, 2022.
- [Pedestrian Connection for Future Connection](#), prepared by Bohler Engineering, PA, LLC, dated March 27, 2023.

Based on the review of the above listed document(s), and the Township's Subdivision and Land Development Ordinance (SALDO) and Zoning Ordinance (ZO) requirements, McMahon offers the following comments for consideration by the Township and further action by the applicant as the project advances through the formal land development process.

General Items

1. The applicant's engineer must put together a letter with the land development package, etc. that provides a response on how each comment has been addressed, and where each can be located in the submission. For ease of reference, please refer to the overall Drawing/Page Number for any comment that addresses a modification to the land development plan set or to the section of the traffic impact assessment, if applicable.

Land Development Plans

1. Please provide information on how the building will be used and/or subdivided to serve multiple tenants consistent with the uses within the Administrative Office Zoning District as no details are provided on the plans in accordance with *Section 142-15.B.(11) of the SALDO*. This information is necessary to determine if the building has been subdivided in accordance with the zoning requirements, adequate parking is provided, and/or a traffic impact study is required for the redevelopment of the site in accordance with *Section 142-137 of the SALDO*. Please also refer to *Section 142-50.B(8) of the SALDO* regarding existing buildings within non-residential districts.

According to the *355 Maple Avenue – Traffic Evaluation*, the existing 119,592 square-foot building, which was previously utilized by a single office tenant, will be renovated to provide 59,800 square feet of manufacturing space, 29,300 square feet of warehouse space, and 35,892 square feet of general office space. However, the *Parking Requirements* table provided on Sheet 5 of 20 is based on a gross floor area of 248,890 square feet, which is twice the size of the existing and proposed building space within the traffic evaluation. The plans must provide parking calculations based upon the three proposed uses that demonstrate that the singular office requirements are greater than the three proposed uses for the building.

2. As previously requested, provide all dimensions, labels, etc. required for preliminary plans according to *Section 142-15 of the SALDO* are provided for all existing, including the existing surrounding streets (Legal Right-of-Way, Ultimate Right-of-Way, cartway widths, driveway widths, radius, etc.). Dedication of the Ultimate Right-of-Way based upon the Township requirements in *Figure 4.1 of the SALDO* may then be required.
3. A general note stating that truck vehicles accessing the site will utilize the Oak Drive access to and from the SR 0113/Oak Drive signalized intersection should be added to the Record Plan.
4. Provide painted median striping (i.e. 24" transverse yellow markings with 4" DY) in the area that the concrete is being removed in the full movement access to Oak Drive.

5. Our office received a trail sketch plan on March 29, 2023. We offer the following comments based on the initial review of plan below, which include, but are not limited to:
- A. Trail geometry (including longitudinal grades) should be provided on a construction plan in accordance with Township and *AASHTO Guide for the Development of Bicycle Facilities, 2012, Fourth Edition* requirements. Should these requirements not be met, advance warning signage may be required.
 - B. Revise the trail location at the existing right-in/right-out access to be closer to Oak Drive at the driveway (in front of stopped exiting vehicles), and modify the existing landscaped island to accommodate the trail crossing.
 - C. Relocate the mid-block crossing location to be within the curb return of the site access and the curb of the existing access on the opposite side of Oak Drive. Avoid interference with existing utility poke and embankment.
 - D. Provide ADA compliant ramps for the mid-block Oak Drive crossing (both sides) including a tie-in with the existing trail.
 - E. Revise the proposed pedestrian crossing and ADA ramp at the Oak Drive/Maple Ave intersection to provide a separate receiving ramp and crossing on Oak Drive. The crossing will likely require the existing stop bar to be shifted back to accommodate the signed pedestrian crossing. It is unclear if Township R/W is available on the corner of Oak Drive and Maple Ave. The plans should clearly show the existing sidewalk, curb, and drainage features (i.e. inlet) at this location.
 - F. All curb ramps and pedestrian routes are to be constructed in accordance with the current Federal and PennDOT ADA standards. McMahon will not review any ramps internal to the site.
 - G. Provide ADA Design forms (i.e. CS-4401) for all ramps located within the Township Right-of-Way for review.
 - H. Add a detail and typical section for the proposed trail pavement section to the plans.
 - I. While it is understood that the proposed trail is to be constructed of asphalt, the proposed ADA ramps must be constructed with concrete, in accordance with the latest PennDOT RC standards.
 - J. Provide a memorandum in accordance with MUTCD 2009 Chapter 3.18 and PennDOT Publication 46, Chapter 11.0 pages 1-25 that includes a complete evaluation for the Oak Drive pedestrian crossing. This memorandum can reference information shown on the plans, and should highlight that the minimum requirements of the publications are met, including vehicle speeds, sight distance measurements, etc.
 - K. Provide signage for the mid-block crossing, including "Pedestrian" (W11-2) and "Downward Directional Arrow" plaques (W16-17P) in both directions of travel.
 - L. Provide pavement markings and labels for the proposed crosswalk striping (i.e. 24" white continental markings for mid-block, 6" white lines for intersection crosswalk).
 - M. Provide a Township Trail Easement for the areas of the proposed trail that extend beyond the Township Legal Right of Way.
 - N. Provide a note indicating that the proposed trail will be maintained and cleared during the winter by the property owner since it is serving as a sidewalk connection for public use.

Waiver Requests

McMahon notes the following regarding the traffic-related waivers requested in the letter. Please note the numbers correspond to the numbers utilized in the waiver request letter.

1. A waiver from SALDO Section 142-18.F to allow the submission of Preliminary/Final Land Development Plans in lieu of separate Preliminary and Final Plan Submissions. Due to the complexity of the project, it is not anticipated that the proposed use will require a separate review of preliminary and final plans.

Response: McMahon does not object to the granting of this waiver.

2. A partial waiver from SALDO Section 142-41 is requested yet recognizes its part in the pedestrian connectivity plan for the Township. A waiver is requested for curbs, sidewalks and stormwater along all the frontages and proposes evaluating macadam trail connection points (with no curb and stormwater) along portions of Maple and Oak which the timing could be deferred to overlap with other sidewalk/trail improvements. This will provide the most meaningful contribution in addition to the existing trail system on the property.

Response: As indicated in Comment #5 above, additional information regarding the proposed trail is needed. This portion of the trail is recommended to be constructed as part of the project and not deferred to overlap with other sidewalk/trail improvements.

Transportation Impact Fee Assessment

In accordance with the *Lower Salford Township Impact Fee Ordinance*, the new weekday afternoon peak hour trip generation associated with the redevelopment and change in use for the subject parcel is subject to the Township's Transportation Impact Fee, since it is located in the Transportation Service Area. This area has an impact fee of **\$2,948 per new weekday afternoon peak hour trip. *There is a revision that is needed for the 355 Maple Avenue – Traffic Evaluation before a determination on the impact fee can be made. This revision must be addressed, prior to recording the plans, so that a determination can be made regarding the amount of any required traffic impact fee, which shall be paid, if any, prior to the issuance of a building permit.***

If the Township has any questions, or requires further clarification, please contact me at sbutler@bowman.com or 215-283-9444, ext. 1256.

Respectfully,



Stephanie L. Butler, P.E.
Senior Project Manager



Sandy Koza, P.E., PTOE
Senior Project Manager

MEE/SAK/SLB/smd

cc: Lower Salford Board of Supervisors
Lower Salford Township Planning Commission
Michael Beuke, Lower Salford Township
Holly Hosterman, Lower Salford Township
Michele Fountain, P.E., CKS Engineers
James Garrity, Esq., Lower Salford Solicitor
Don Lynch, Lower Salford Fire Marshal
Andy Freimuth, Esq., Wisler Pearlstine, LLP
Connie Weimer, LSTA
Thomas Duffy, P.E., LSTA Engineer
Mark Mattucci, LSTA Project Manager
Claire Warner, Montgomery County Planning Commission
Cornelius Brown, P.E., Bohler Engineering PA
Mike Roth, P.E., Bohler Engineering PA
John Fiore, VV 355 LLC

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Lower Salford Township Board of Supervisors

379 MAIN STREET
HARLEYSVILLE, PA 19438

PHONE: 215-256-8087
FAX: 215-256-4869

MEMORANDUM

TO: *Board of Supervisors*

FROM: *Douglas R. Jones, Director of Public Works* 

DATE: *April 4, 2023*

SUBJECT: *Recommendation for Award – 2023 Bituminous Pavement Base Repair Contract*

CC: *Joseph S. Czajkowski, Township Manager*

On Tuesday, April 4, 2023, bids were received and opened, via the PennBid online bidding platform, for the above referenced contract. A total of four (4) bids were received with the bid results shown on the attached bid tabulation sheet. This contract is to remove existing deteriorated asphalt pavement to a depth of either 2 or 3 inches, depending on the pavement distress, and replace it with new warm mix asphalt (WMA). This work is planned on various roadways throughout the Township in preparation for a surface treatment (Cape Seal or NovaChip) either this year or next.

As you can see, Associated Paving Contractors, Inc., of Warminster, PA is the apparent low bidder at \$90,750.00, which is under the \$100,000 prevailing wage threshold for roadway projects. Associated Paving Contractors was awarded the 2022 Base Repair Contract and fulfilled the contract without any issues or concerns. They do meet all qualifications detailed in the specifications and are subject to all the appropriate bonding requirements (performance, payment & maintenance) to ensure the project is completed to our satisfaction.

It should be noted that the unit pricing for 2023 of \$30.00 for a 3-inch repair and \$20.00 for a 2-inch repair, are only pennies more than the 2022 pricing of \$29.75 and \$19.85 respectively, which speaks to the value the Township receives by issuing a non-prevailing wage contract. Please note that the 2-inch repair will be used primarily on those roads where previous chip seals have delaminated creating shallow potholes. These areas typically don't have structural concerns, so a 2-inch repair will be adequate to address the issues.

Given the above, it is my recommendation that the Board of Supervisors award the 2023 Bituminous Pavement Base Repair Contract to the low bidder, Associated Paving Contractors, Inc. in the total contract amount of \$90,750.00.

Please advise should you have any questions regarding this matter.

LOWER SALFORD TOWNSHIP

2023 BITUMINOUS PAVEMENT BASE REPAIR CONTRACT

Extended Price Analysis

Reference Number	Description	Type	UOM	Quantity	Associated Paving Contractors Inc.	Sacks and Sons	H&K Group, Inc.	Marino Corporation	Average
Bid Price Ratio					100%	96.67%	83.56%	50.86%	
Total Extended					\$90,750.00	\$93,868.75	\$108,600.00	\$178,405.00	
Pricing Items					\$90,750.00	\$93,868.75	\$108,600.00	\$178,405.00	
	Type I Repair - Milling of existing bituminous pavement on selected roadways to a depth of two (2) inches and a minimum of four (4) feet wide and replace with Warm Mix Asphalt (WMA)				\$19,500.00	\$25,350.00	\$30,225.00	\$36,855.00	
1	SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER	Base	SY	975	Unit.: \$20.00	Unit.: \$26.00	Unit.: \$31.00	Unit.: \$37.80	\$27,982.50
	Type II Repair - Milling of existing bituminous pavement on selected roadways to a depth of three (3) inches and a minimum of four (4) feet wide and replace with Warm Mix Asphalt (WMA)				\$71,250.00	\$68,518.75	\$78,375.00	\$141,550.00	
2	SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER	Base	SY	2,375.00	Unit.: \$30.00	Unit.: \$28.85	Unit.: \$33.00	Unit.: \$59.60	\$89,923.44