

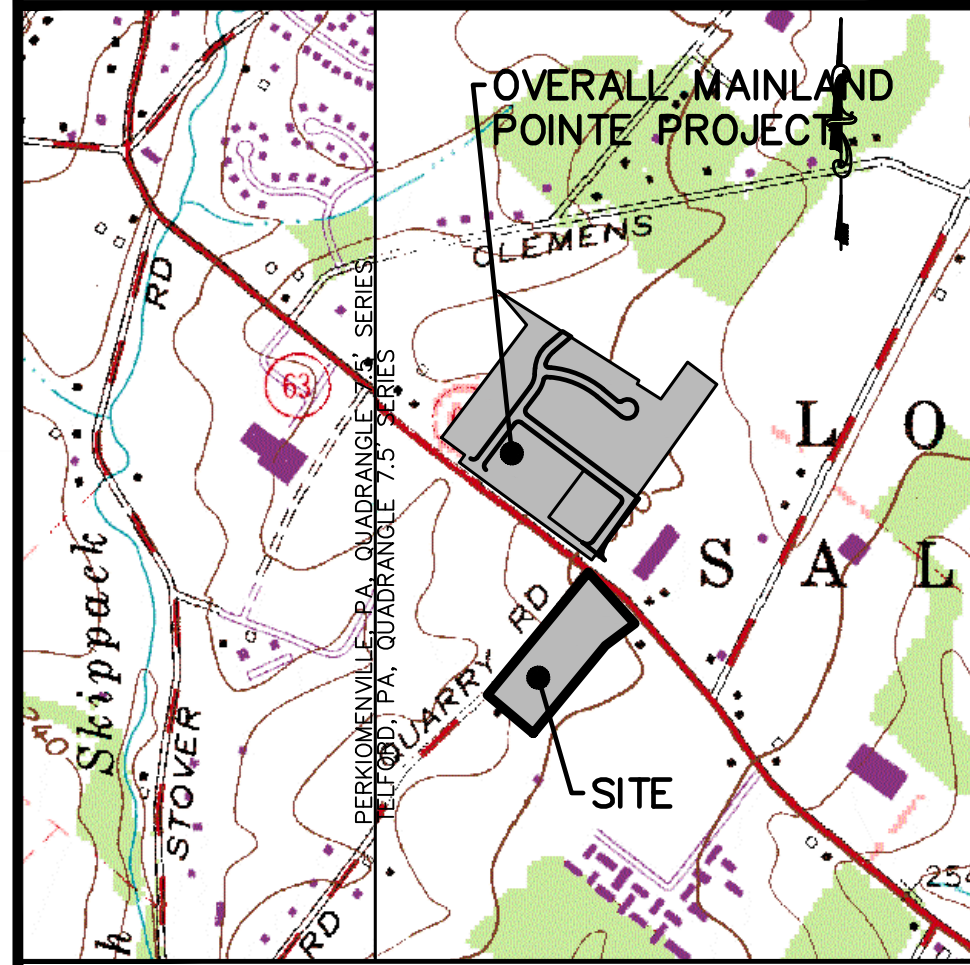
GENERAL AND CONDITIONAL USE NOTES

- TITLE AND TOPOGRAPHIC INFORMATION SHOWN FOR THE PREMISES WAS DETERMINED FROM A FIELD (GROUND) SURVEY BY RICHARD C. MAST ASSOCIATES, P.C. IN MAY 2021. ELEVATIONS ARE BASED ON NAVD83. BENCHMARK (B.M.) IS THE CENTERLINE OF THE 1ST FLOOR DOORSILL LOCATED ON THE NORTHWEST FACE OF THE EXISTING GARAGE BUILDING AT ELEVATION 304.53 FEET. OFF-SITE ELEVATION CONTOUR INFORMATION SHOWN IS APPROXIMATE AND TAKEN FROM PAMAP LIDAR ELEVATION DATA-DERIVED PRODUCTS DOWNLOADED FROM THE PASDA WEBSITE.
- THE WETLAND LIMITS SHOWN WERE FLAGGED BY PENN'S TRAIL ENVIRONMENTAL, LLC AND WERE FIELD LOCATED BY RICHARD C. MAST ASSOCIATES, P.C. IN DECEMBER 2020. REFER TO THE "WETLAND & WATERS SITE EVALUATION LETTER OF FINDINGS" BY PENN'S TRAIL ENVIRONMENTAL, LLC DATED FEBRUARY 11, 2021.
- AN ALLUVIAL SOIL EVALUATION OF THE PROPERTY COMPLETED BY VW CONSULTANTS LLC DETERMINED THAT ALLUVIAL SOILS ARE NOT PRESENT AT THE SITE AND THAT THE ALLUVIAL SOIL SERIES OF ROWLAND MAPPED ON THE NCRS WEBSITE SHOULD BE MAPPED AS RARITAN SOILS. REFER TO THE "ALLUVIAL SOIL EVALUATION" BY VW CONSULTANTS, LLC DATED DECEMBER 4, 2021.
- THE FEMA FLOOD INSURANCE RATE MAP FOR MONTGOMERY COUNTY, PA, MAP NUMBER 42091C01386, EFFECTIVE DATE OF MARCH 2, 2016 INDICATES, BY SCALED LOCATION OF THE PROPERTY ONTO THE MAP, THAT THE PROPERTY LIES WITHIN OTHER AREAS ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THE PROPERTY AND EXISTING USE IS SERVED BY PUBLIC SANITARY SEWER AND AN ON-LOT PRIVATE WELL.
- THE PROPOSED USES WILL BE SERVED BY PUBLIC SEWER PROVIDED BY THE LOWER SALFORD TOWNSHIP AUTHORITY.
- THE PROPOSED USES WILL BE SERVED BY PUBLIC WATER PROVIDED BY THE NORTH PENN WATER AUTHORITY.
- ALL CONSTRUCTION WORK AND MATERIALS SHALL COMPLY WITH LOWER SALFORD TOWNSHIP AND LOWER SALFORD TOWNSHIP AUTHORITY STANDARDS AND SPECIFICATIONS, WITH CURRENT PADOT SPECIFICATIONS (PLB 408) AND STANDARD DETAILS AND WITH APPLICABLE FEDERAL, STATE AND MUNICIPAL CODES. IN THE CASE OF CONFLICTING STANDARDS OR SPECIFICATIONS THE GREATER OR MORE STRINGENT STANDARD OR SPECIFICATION SHALL APPLY.
- THIS CONDITIONAL USE PLAN AND APPLICATION IS FOR THE CONSTRUCTION OF CLASS THREE CONDITIONAL USES SUBJECT TO FOLLOWING REQUIREMENTS.
 - THE PROPOSED USES WITHIN THE CLASS THREE CONDITIONAL USE INCLUDE THE FOLLOWING:
 - 29 RESIDENTIAL APARTMENT UNITS CONTAINED WITHIN 5 SEPARATE BUILDINGS, AND PARKING AREA.
 - A OFFICE/RETAIL USE (BANK WITH DRIVE UP ATM) AND PARKING AREA.
 - RETAIL STORE (AUTOPARTS STORE) AND PARKING AREA.
 - THE DRIVE-THROUGH SERVICE AREA SHALL BE AN INTEGRAL PART OF THE INTERIOR CIRCULATION PATTERN AND SHALL BE DESIGNED IN A SAFE AND EFFICIENT MANNER TO MINIMIZE VEHICLE TO VEHICLE, AND VEHICLE TO PEDESTRIAN, CONFLICT. ALL DRIVE-THROUGH AREAS SHALL BE DESIGNED WITH A SEPARATE ESCAPE LANE TO PERMIT VEHICLES TO LEAVE OR PASS BY THE DRIVE-THROUGH AREA IF THEY WISH OR NEED TO DO SO. NO DIRECT ACCESS TO A PUBLIC ROAD SHALL BE PERMITTED FROM ANY DRIVE-THROUGH AISLE.
 - WHERE A DRIVE-IN WINDOW OR DRIVE-THROUGH AISLE IS PROPOSED, A STACKING LANE FOR EACH DRIVE-IN WINDOW OR DRIVE-THROUGH AISLE SHALL BE PROVIDED TO SERVE A MINIMUM OF FIVE CARS. THE STACKING LANE SHALL NOT BE USED FOR PARKING LOT CIRCULATION AISLES, NOR SHALL IT IN ANY WAY CONFLICT WITH THROUGH CIRCULATION, PARKING OR DELIVERIES TO THE TRACT. THE DRIVE-THROUGH LANE HAS BEEN DESIGNED AS AN ENTIRELY SEPARATE LANE WITH NO CONFLICTS.
 - LIGHTING FOR ALL DRIVE-THROUGH SERVICE AREAS SHALL BE INSTALLED IN A MANNER WHICH, AT A MINIMUM.
 - SAFELY, BUT NOT EXCESSIVELY, ILLUMINATES THE DRIVE-THROUGH AREA.
 - IS SHIELDED TO PREVENT ANY LIGHT SPILLAGE OFF THE DRIVE-THROUGH LOT OR PARCEL; AND
 - IS TIMED OR SWITCHED SO THAT THE DRIVE-THROUGH AREA IS NOT ILLUMINATED WHEN DRIVE-THROUGH SERVICE IS NOT AVAILABLE.
 - LANDSCAPING FOR ALL DRIVE-THROUGH SERVICE AREAS SHALL BE INSTALLED IN A MANNER WHICH SAFELY SHIELDS THE STACKING LANES, DRIVE-THROUGH AISLE AND DRIVE-IN WINDOWS FROM VIEW OF NEIGHBORING USES. A LANDSCAPE PLAN WILL BE PREPARED MEETING THIS REQUIREMENT TO THE SATISFACTION OF THE TOWNSHIP.

IMPERVIOUS COVER DATA

EXISTING CONDITIONS		PROPOSED CONDITIONS	
EX TRACT AREA TO LEGAL ROW)	226,003 SF	NET LOT AREA (TO ULT ROW)	216,491.85 SF
ULT, RIGHT-OF-WAY	9,511 SF		4.97 AC
NET LOT AREA (TO ULT ROW)	216,492 SF	PROPOSED BANK	3,366 SF
		PROPOSED RETAIL STORE	7,381 SF
EX BUILDING AREA	1,964 SF	PROPOSED APARTMENT BUILDINGS	21,021 SF
EX BUILDING AREA	1,964 SF	PROP TOTAL BUILDING AREA	31,768 SF
EX PAVEMENT AREA	2,101 SF	PROP PAVEMENT AREA	52,355 SF
EX SIDEWALK AREA	112 SF	PROP SIDEWALK AREA	7,073 SF
EX OTHER IMPERVIOUS AREA	175 SF	PROP OTHER IMPERVIOUS AREA	10,549 SF
EX TOTAL OTHER IMPERVIOUS AREA	2,388 SF	PROP TOTAL NON-ROOF IMPERVIOUS AREA	69,977 SF
		PROP TOTAL IMPERVIOUS AREA	101,746 SF

SITE LOCATION MAP 1"=1,000'



U.S.G.S. TELFORD AND PERKIOMENVILLE QUADRANGLE 7.5' SERIES
(SITE IS LOCATED WITHIN TELFORD QUADRANGLE)

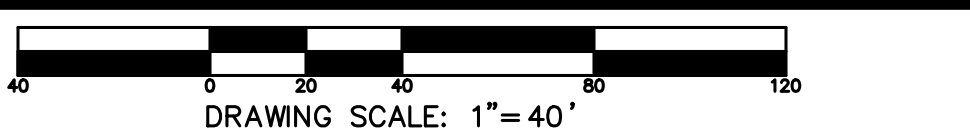
ZONING DATA

ZONING INFORMATION OBTAINED FROM THE LOWER SALFORD TOWNSHIP ZONING ORDINANCE, AS AMENDED.
DISTRICT CLASSIFICATION: "R0 RESIDENTIAL-OFFICE DISTRICT"
EXISTING USE: SINGLE-FAMILY DWELLING
PROPOSED USE: RETAIL COMMERCIAL (WITH DRIVE-THROUGH) FACILITY AND APARTMENTS (CLASS THREE CONDITIONAL USES)

	PERMITTED CLASS THREE CU	EXISTING	PROPOSED
MIN. GROSS TRACT AREA (TO LEGAL R/W)	5 AC	5.19 AC	5.19 AC
MIN. LOT SIZE	43,560 SF	216,492 SF	216,492 SF
MIN. LOT WIDTH AT STREET LINE	150 FT	310.2 FT	310.2 FT
MIN. FRONT YARD SETBACK	30 FT	55.6 FT	30.0 FT
MIN. SIDE YARD SETBACK	20 FT	202.3 FT	20.0 FT
MIN. REAR YARD SETBACK	40 FT	647.6 FT	N/A
MIN. SETBACK FROM AN ABUTTING RESID. DIST.	100 FT	N/A	100.0 FT
MAX. BUILDING HEIGHT (<200' FROM RESID. DIST.)	35 FT	<35 FT	<35 FT
MAX. BUILDING HEIGHT (<200' FROM RESID. DIST.)	35 FT	<35 FT	<35 FT
MIN. PARKING SETBACK FROM ABUTTING RESID. DIST.	35 FT	N/A	35 FT
MIN SETBACK BETWEEN BUILDINGS ON SAME LOT	25 FT	N/A	25 FT
MAX. BUILDING FOOTPRINT	15,000 SF	N/A	7,210 SF
MAX. OVERALL DIMENSION OF NEW CU BUILDING	150 FT	N/A	141 FT
MAX. BUILDING COVERAGE (% OF NET TRACT AREA)	20%	0.9%	14.7%
MAX. IMPERVIOUS COVERAGE (% OF NET TRACT AREA)	60%	2.0%	47.0%

PARKING DATA

REQUIRED PARKING PER Z.O. ARTICLE XVII SECTION 164-99.	REQUIRED	PROPOSED
APARTMENT USE		
APARTMENT BUILDING (4 BUILDINGS)		
RESIDENTIAL		
2 SPACES PER DWELLING UNIT	60	76
30 DWELLING UNITS/2 SPACES/UNIT = 60 SPACES		
TOTAL FOR ALL APARTMENTS:	60	76
NON-RESIDENTIAL USES		
RETAIL BUILDING A (RESTAURANT)		
RETAIL BUILDING A (BANK)		
1 SPACE PER 200 S.F.	17.0	23
3,366 S.F. X 1 SPACE/200 S.F. = 16.8 SPACES		
RETAIL BUILDING B (RETAIL STORE)		
RETAIL BUILDING B (RETAIL STORE)		
1 SPACE PER 200 S.F.	36.9	39
7,381 S.F. X 1 SPACE/200 S.F. = 36.9 SPACES		
TOTAL FOR ALL NON-RESIDENTIAL USES:	54	62
TOTAL FOR ALL USES ON LOT:	114	138
RESERVE PARKING:		0



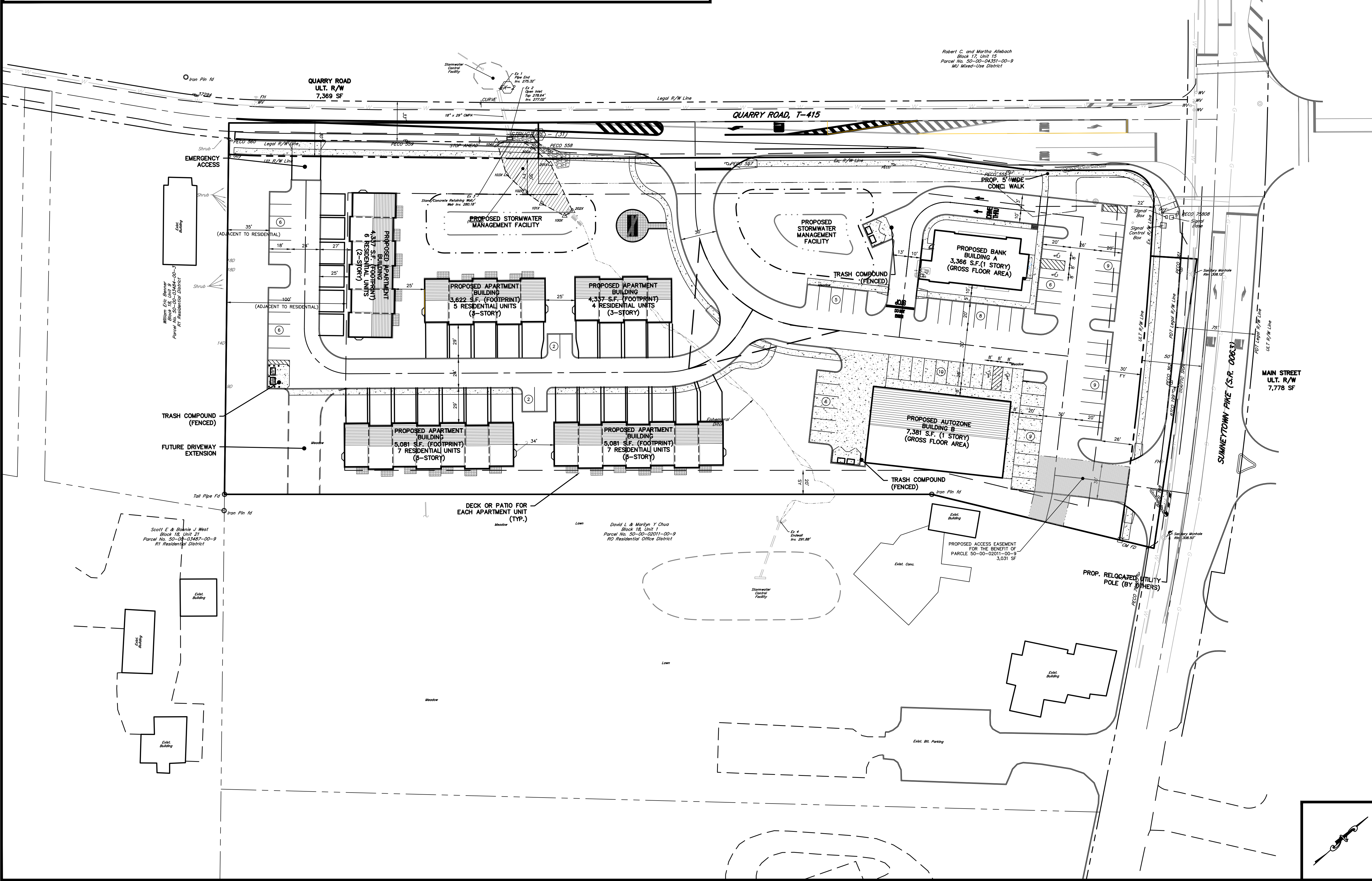
NO.	REVISION	DATE
	PLAN ORIGINATOR DATE	MAY 24, 2023

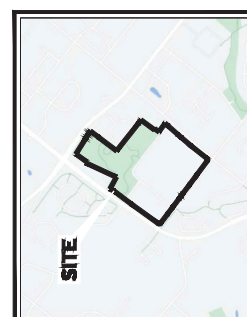
CONDITIONAL USE PLAN
FOR
196 MAIN STREET
PREPARED FOR
MAINLAND V, LLC
SITE SITUATE IN
LOWER SALFORD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

Richard C. Mast Associates, P.C.
Consulting Engineers and Surveyors
www.rcmaonline.com

The Village at Lederach
658 Harleysville Pike, Suite 150
Harleysville, PA 19438
(215) 513-2100

DRAFTED BY	PROJ. MNGR	PROJECT NO.	DRAWING NO.
R.C.M.A.	R.C.M.	3179	1 OF 1





LOCATION MAP
SCALE: 1" = 500'

LEGEND EXISTING

ADJACENT PROPERTY LINE	---
BUILDING	▭
RE-TANKING WALL	▭
CONCRETE CURB	▭
AREA LIGHT	⊙
TREE	⊙
POSSIBLE POLE	⊙
UTILITY POLE	⊙
OVERHEAD UTILITY WIRES	---
STORM MAIN	---

LEGEND PROPOSED

PROPOSED TYPICAL	---
RE-TANKING WALL	▭
CONCRETE CURB	▭
AREA LIGHT	⊙
DRAINAGE INLET	⊙
MANHOLE	⊙
POLE	⊙
CONCRETE	▭

LEGEND PROPOSED SIGNAGE

TRUCK ROUTE	⊙
TRUCK ROUTE ONLY	⊙
NO TRUCKS	⊙
NO TRUCKS (DETAILS FOR OTHERS)	⊙

PARKING REQUIREMENTS

USE	REQUIRED	ON-SITE PARKING
OFFICE (1 SPACE PER 20 SF OF GFA)	248/800 GFA (124 SPACES)	90 SPACES
OFFICE (1 SPACE PER 20 SF OF GFA) W/REWORK (1 SPACE PER 100 SF OF GFA)	158/800 GFA (79 SPACES)	600 SPACES (510 TO BE REMOVED)
640 TOTAL PROPOSED REQUIRED		

BULK REQUIREMENTS

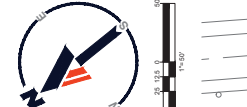
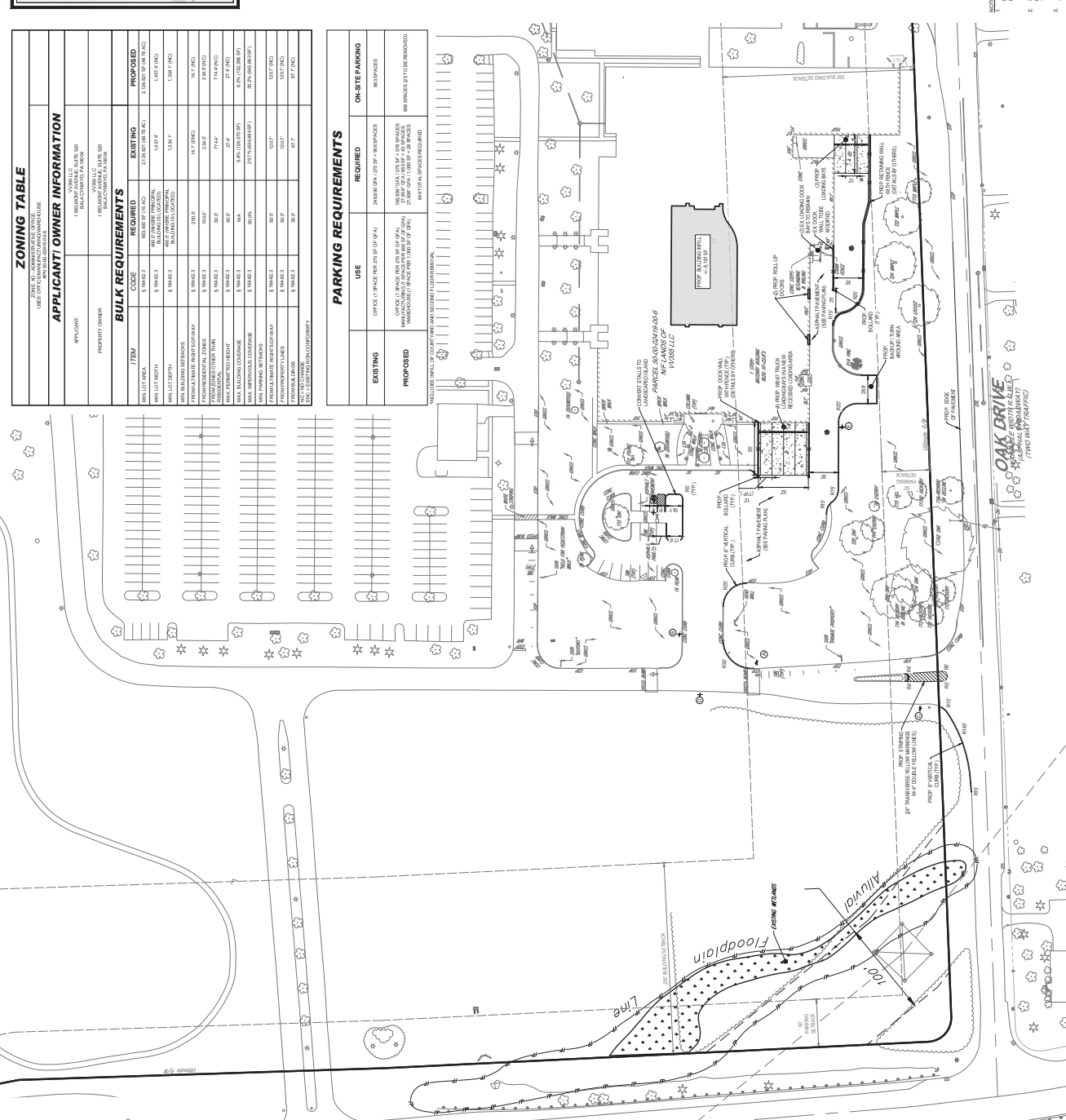
ITEM	CODE	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	5 18462.3	21,743.0 (18 PAC)	21,743.0 (18 PAC)	21,743.0 (18 PAC)
MIN LOT DEPTH	5 18462.3	130 FT 4	130 FT 4	130 FT 4
MIN LOT WIDTH	5 18462.3	130 FT 4	130 FT 4	130 FT 4
MIN FRONT SETBACK	5 18462.3	20.0'	20.0'	20.0'
MIN SIDE SETBACK	5 18462.3	20.0'	20.0'	20.0'
MIN REAR SETBACK	5 18462.3	20.0'	20.0'	20.0'
MIN FRONT YIELD HEIGHT	5 18462.3	7.5'	7.5'	7.5'
MIN SIDE YIELD HEIGHT	5 18462.3	7.5'	7.5'	7.5'
MIN REAR YIELD HEIGHT	5 18462.3	7.5'	7.5'	7.5'
MIN FRONT FOOTING	5 18462.3	0.0'	0.0'	0.0'
MIN SIDE FOOTING	5 18462.3	0.0'	0.0'	0.0'
MIN REAR FOOTING	5 18462.3	0.0'	0.0'	0.0'

ZONING TABLE

APPLICANT/ OWNER INFORMATION

PROPERTY OWNER: [Name]

PROPOSED: [Name]



HARLEYSVILLE PIKE

OAK DRIVE

BOHLER ENGINEERING

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS FOR

VV 355 LLC

PROPOSED REDEVELOPMENT OF EXISTING BUILDING AND PARKING LOTS

LOWER SALFORD TOWNSHIP MONTGOMERY COUNTY, PA

BOHLER ENGINEERING

1818 MARKET STREET, SUITE 920 PHILADELPHIA, PA 19103

PROJECT No: 2018-001
CHECKED BY: [Name]
DATE: 10/1/2018

REVISIONS

REV	DATE	COMMENT
1	10/1/2018	ISSUED FOR PERMIT
2	10/1/2018	ISSUED FOR PERMIT

811

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS FOR

VV 355 LLC

PROPOSED REDEVELOPMENT OF EXISTING BUILDING AND PARKING LOTS

LOWER SALFORD TOWNSHIP MONTGOMERY COUNTY, PA

BOHLER ENGINEERING

1818 MARKET STREET, SUITE 920 PHILADELPHIA, PA 19103

SHEET TITLE: SITE PLAN
SHEET NUMBER: C-301
REVISION: 2 - 10/1/2018

**LOWER SALFORD TOWNSHIP
BOARD OF SUPERVISORS**

MONTGOMERY COUNTY, PENNSYLVANIA

ORDINANCE NO. _____

“Sign Ordinance Amendment”

AN ORDINANCE AMENDING THE CODIFIED ORDINANCES OF LOWER SALFORD TOWNSHIP, MONTGOMERY COUNTY, CHAPTER 164 (ZONING), ARTICLE XVII (SIGNS), SECTIONS 164-105.1 (DEFINITIONS; SIGN TYPES), 164-106 (PERMITTED SIGNS), 164-109 (GENERAL REGULATIONS), 164-111 (TEMPORARY SIGNS) AND 164-113 (PERMIT REQUIRED FOR CERTAIN SIGNS) IN ORDER TO ENSURE THE CONTENT-NEUTRAL TREATMENT OF NON-PERMANENT AND PERSONAL EXPRESSION SIGN AND TO EXPAND REGULATIONS FOR PROHIBITED SIGNS AND PORTABLE (MOVEABLE) SIGNS.

WHEREAS, Lower Salford Township regulates signs within the Township in accordance with Chapter 164 (Zoning), Article XVII (Signs) of the Codified Ordinances of Lower Salford Township; and

WHEREAS, the Board of Supervisors desires to amend Chapter 164 (Zoning), Article XVII (Signs) to ensure the content-neutral treatment of all non-permanent and personal expression signs in the Township boundaries.

WHEREAS, the Board of Supervisors desires to amend Chapter 164 (Zoning), Article XVII (Signs) to ALSO expand regulations for prohibited signs and portable (moveable) signs.

NOW, THEREFORE, it is hereby **ENACTED** and **ORDAINED** by the Board of Supervisors of Lower Salford Township as follows:

SECTION I. - Amendment to the Code.

The Codified Ordinances of Lower Salford Township, Chapter 164 (Zoning), Article XVII (Signs), Section 164-105.1 (Definitions; Sign Types), Subsection B. is hereby amended as follows:

- (1) To repeal and replace the following definitions:

ON-PREMISES SIGN: A sign whose message and design relate to an individual business, profession, product, service, event, point of view, or other commercial or non-commercial activity sold, offered, or conducted on the same property where the sign is located.

TEMPORARY SIGN: A type of non-permanent, sign that is located on private property that can be displayed for no more than 30 consecutive days at one time. Temporary signs do not require a permit. A temporary sign is separate and distinct from a limited-duration sign.

- (2) To remove the following term and definition thereof:

POLITICAL SIGN.

- (3) To add the following definitions:

LIMITED DURATION SIGN: A non-permanent sign that is displayed on private property for more than 30 days, but not intended to be displayed for an indefinite period. Limited duration signs require a sign permit, which is valid for up to one year, and can be renewed annually. A limited duration sign is separate and distinct from a temporary sign.

PERSONAL EXPRESSION SIGN: An on-premises sign that expresses an opinion, interest, position, or other non-commercial message.

WALL SIGN: A building-mounted sign which is either attached to, displayed on, or painted on an exterior wall in a manner parallel with the wall surface. A sign installed on a false or mansard roof is also considered a wall sign.

SECTION II. - Amendment to the Code.

The Codified Ordinances of Lower Salford Township, Chapter 164 (Zoning), Article XVII (Signs), Section 164-106 (Permitted Signs) is hereby amended to repeal Subsections G and I, both pertaining to temporary signs, in their entirety.

SECTION III. – Amendment to the Code.

The Codified Ordinances of Lower Salford Township, Chapter 164 (Zoning), Article XVII (Signs), Section 164-109 (General Regulations) is hereby amended as follows:

- (1) To add the following prohibited signs to Subsection M:
 - (14) Abandoned signs.
 - (15) Signs that exhibit statements, words, or pictures of obscene or pornographic subjects as determined by Lower Salford Township.
 - (16) Any sign that promotes illegal activity.
- (2) To add the following Subsections O, P, Q, and R to provide new language for such subsections as follows:
 - O. Limited Duration Signs.
 - (1) A permit is required for each Limited Duration Sign. The permit is effective for one (1) year and may be renewed annually.
 - (2) Limited Duration Signs shall not be included in the determination of the type, number, or area of signs allowed on a property.
 - (3) Illumination of any Limited Duration Sign is prohibited.
 - (4) Lower Salford Township may confiscate signs installed in violation of this Section. Lower Salford Township is not responsible for notifying sign owners of confiscation of an illegal sign.
 - (5) One (1) Limited Duration Sign is permitted on a property. If a property is greater than five (5) acres in size and has at least 400 feet of street frontage, one (1) additional Limited Duration Sign may be permitted so long as there is a minimum spacing of 200 feet between the two (2) Limited Duration Signs.
 - (6) Each Limited Duration Sign shall have a maximum area of 32 square feet.
 - (7) Each Limited Duration Sign shall have a maximum height of eight (8) feet.
 - (8) Type:
 - a) Freestanding sign

- b) Window sign
- c) Wall sign
- d) Banner

P. Temporary Signs.

- (1) Temporary Signs are exempt from standard permit requirements.
- (2) Temporary Signs may be displayed up to a maximum of 30 consecutive days, three (3) times per year, with the date of display written on the face of the sign.
- (3) Temporary Signs shall not be included in the determination of the type, number, or area of signs allowed on a property.
- (4) Illumination of any Temporary Sign is prohibited.
- (5) Lower Salford Township may confiscate signs installed in violation of this Section. Lower Salford Township is not responsible for notifying sign owners of confiscation of an illegal sign.
- (6) One (1) or more Temporary Signs are permitted on a property so long as the total of all signs do not exceed 24 square feet.
- (7) If a property is greater than five (5) acres in size and has at least 400 feet of street frontage, one (1) or more additional Temporary Signs may be permitted so long as the total of all additional signs do not exceed 24 square feet.
- (8) Each Temporary Sign shall have a maximum height of eight (8) feet.
- (9) Type:
 - a) Freestanding sign
 - b) Window sign
 - c) Wall sign
 - d) Banner sign

Q. Personal Expression Signs of any sign type, including flags, are exempt from permit requirements provided that they do not exceed three (3) square feet in area, and are not illuminated.

R. Signs Exempt from Permit Requirements:

- (1) Holiday and seasonal decorations.
- (2) Personal expression signs of any sign type, including flags, provided that they do not exceed three (3) sq. ft. in area per side, are non-commercial in nature, and not illuminated.
- (3) Signs or emblems of a religious, civil, philanthropic, historical or educational organization that do not to exceed four (4) sq. ft. in area.
- (4) Incidental signs, including incidental window signs.
- (5) Directional signs, provided they do not contain any commercial messaging.
 - a) *Area.* No single directional sign shall exceed four (4) sq. ft. in area.
 - b) *Height.* Directional signs shall have a maximum height of five (5) ft.
 - c) *Illumination.* Directional signs shall be non-illuminated.
- (6) Temporary signs in accordance with the Temporary Signs regulations in this Chapter.

SECTION IV. – Amendment to the Code.

The Codified Ordinances of Lower Salford Township, Chapter 164 (Zoning), Article XVII (Signs) is hereby amended to repeal Section 164-111 (Temporary Signs), in its entirety.

SECTION V. – Amendment to the Code.

The Codified Ordinances of Lower Salford Township, Chapter 164 (Zoning), Article XVII (Signs), Section 164-113 (Permit Required for Certain Signs) is hereby amended as follows:

To amend Subsection A to read:

- A. A permit shall be obtained from the office of the Zoning Officer as required in this Article, and for each of the following types of signs:
 - (1) All business, commercial and industrial signs
 - (2) All development signs

SECTION VI. – Severability.

The provisions of this Ordinance are severable, and if any section, sentence, clause, part or provision hereof shall be held illegal, invalid or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair the remaining sections, sentences, clauses, parts or provisions of this Ordinance. It is hereby declared to be the intent of the Board that this Ordinance would have been adopted even if such illegal, invalid or unconstitutional section, sentence, clause, part or provision had not been included herein.

SECTION VII. – Failure to Enforce Not a Waiver.

The failure of the Township to enforce any provision of this Ordinance shall not constitute a waiver by the Township of its rights of future enforcement hereunder.

SECTION VIII. – Effective Date.

This Ordinance shall take effect and be in force from and after its approval as required by the law.

SECTION IX. – Repealer.

All other ordinances and resolutions or parts thereof insofar as they are inconsistent with this Ordinance are hereby repealed.

ORDAINED and ENACTED by the Board of Supervisors of Lower Salford Township, Montgomery County, Pennsylvania, this ____ day of _____, 2023.

LOWER SALFORD TOWNSHIP

By: _____
Keith A. Bergman, Chair
Board of Supervisors

Attest: _____
Joseph S. Czajkowski, Secretary